

UMATILLA CITY COUNCIL MEETING
August 17, 2021, 6:00 PM
Council Chambers, 1 S. Central Avenue, Umatilla, Florida

Masks are highly recommended and a limited supply will be available. Social distancing will be observed. Overflow seating in room behind Chambers.

Pledge of Allegiance and Prayer

Please silence your electronic devices

Call to Order

Roll Call

AGENDA REVIEW

MINUTES REVIEW

1 Minutes, City Council meeting August 3, 2021

2 Minutes, City Council Budget Workshop August 3, 2021

MAYOR'S MESSAGE

PUBLIC COMMENT

At this point in the meeting, the Umatilla City Council will hear questions, comments and concerns from the public.

Please write your name and address on the paper provided at the podium. Zoning or code enforcement matters which may be coming before the Council at a later date should not be discussed until such time as they come before the Council in a public hearing. Comments, questions, and concerns from the public regarding items listed on this agenda shall be received at the time the Board addresses such items during this meeting. Public comments are generally limited to three minutes.

CONSENT AGENDA

PRESENTATIONS

3 Summary of Recent Community Meeting Facilitated by GAI Consultants, Pertaining to the Umatilla Bike Path

PUBLIC HEARINGS/ORDINANCES/RESOLUTIONS

4 Final Reading of Ordinance No. 2021-F, Magnolia Point PUD Modification

5 First Reading of Ordinance No. 2021-G, Private Property Rights Amendment

NEW BUSINESS

6 Approval of Gateway Storage Site Plan

BOARD/COMMITTEE APPOINTMENTS

GENERAL DISCUSSION

REPORTS

City Attorney

Mayor

Council Members

Staff Members

Police Activity Report

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (352)669-3125. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any invocation that may be offered before the official start of the Council meeting is and shall be the voluntary offering of a private citizen to and for the benefit of the Council pursuant to Resolution 2014-43. The views and beliefs expressed by the invocation speaker have not been previously reviewed or approved by the Council and do not necessarily represent their individual religious beliefs, nor are the views or beliefs expressed intended to suggest allegiance to or preference for any particular religion, denomination, faith, creed, or belief by the Council or the City. No person in attendance at this meeting is or shall be required to participate in any invocation and such decision whether or not to participate will have no impact on his or her right to actively participate in the public meeting.

The City of Umatilla is an equal opportunity provider and employer.

UMATILLA CITY COUNCIL MEETING
August 2, 2021, 6:00 PM
Council Chambers, 1 S. Central Avenue, Umatilla, Florida

The Pledge of Allegiance

The meeting was called to order at approximately 6:19 p.m.

ROLL CALL

PRESENT: Kent Adcock, Mayor; Vice Mayor Brian Butler; Council Members Kaye Adams, John Nichols, Chris Creech; City Manager Scott Blankenship; City Attorney Kevin Stone; Finance Director Regina Frazier; Development and Public Services Director Aaron Mercer; Police Chief Adam Bolton; Interim City Clerk Gwen Johns; Assistant to the City Manager Misti Lambert; Amy Stultz, Library Director

SWEARING-IN OF ELECTED OFFICIALS

Council Member Chris Creech was sworn into office at the Budget Workshop held at 5:00 pm on August 2, 2021.

ELECTION OF VICE MAYOR

Councilmember Kaye Adams nominated Council Member Brian Butler to serve as Vice Mayor. He was elected by a unanimous vote.

AGENDA REVIEW

MOTION by Council Member Kaye Adams to approve the Agenda
SECOND by Vice Mayor Brian Butler
Motion APPROVED by unanimous vote.

MINUTES REVIEW

Minutes, City Council meeting July 20, 2021

MOTION by Council Member John Nichols to approve the City Council minutes dated July 20, 2021;
SECOND by Vice Mayor Brian Butler;
Motion APPROVED by unanimous vote.

MAYOR'S MESSAGE

PUBLIC COMMENT

There were no public comments.

CONSENT AGENDA

Approval of Notice of Intent to Award – Construction of Runway 1-19 Rehabilitation and Extension FAA AIP No. 3-13-0026-012-2021, City of Umatilla Project No. 2021-02

Scott Blankenship, City Manager, stated there were five bids for the airport runway rehabilitation and extension. Halifax was chosen as the low bidder.

MOTION by Council Member John Nichols to approve the Notice of Intent to Award
SECOND by Vice Mayor Brian Butler
Motion APPROVED by unanimous vote.

PRESENTATION

Proclamation – Citrus Industry Labels

Mayor Adcock read a Proclamation and encouraged everyone to attend the Lake County Citrus Label Tour on August 23, 2021.

Mr. Blankenship said the label placement has not been determined but Cadwell Park is being considered.

PUBLIC HEARINGS/ORDINANCES/RESOLUTIONS

First Reading of Ordinance No. 2021-F, Magnolia Point PUD Modification

Kevin Stone, City Attorney, read Ordinance No. 2021-F by title only.

ORDINANCE NO. 2021-F

AN ORDINANCE OF THE CITY OF UMATILLA, COUNTY OF LAKE, STATE OF FLORIDA, MODIFYING THE PLANNED UNIT DEVELOPMENT (PUD) ZONING OF 317± ACRES OF LAND CURRENTLY ZONED PLANNED UNIT DEVELOPMENT (PUD) IN THE CITY OF UMATILLA FOR THE HEREAFTER DESCRIBED PROPERTY OWNED BY COLIN B. JOHNSON LOCATED EAST OF CHURCH STREET AND SOUTH OF MILLS STREET; APPROVING A MASTER DEVELOPER'S AGREEMENT FOR THE PROPERTY; PROVIDING FOR CONDITIONS AND CONTINGENCIES; DIRECTING THE CITY MANAGER TO PROVIDE CERTIFIED COPIES OF THIS ORDINANCE AFTER APPROVAL TO THE CLERK OF THE CIRCUIT COURT, AND THE LAKE COUNTY MANAGER; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

Scott Blankenship, City Manager, said the developer has reworked the proposal since the first concept was discussed. He asked Sherie Lindh, Land Planning Group, to address City Council regarding Ordinance No. 2021-F.

Kevin Stone, City Attorney, stated this is a quasi-judicial hearing. All attendees who would be speaking on this item were sworn in by Mr. Stone.

Ms. Lindh gave a brief overview of the request including the changes being requested for Magnolia Point.

Sarah Maier, Planning Manager Dewberry Engineering, was present representing Forestar, purchasers of the property and developers of the Magnolia Point subdivision. She stated the owners are looking to make very specific modifications to the master plan agreement. She stated the modifications will allow for increased open space and a grand entryway to the development.

Chris Tyree, a resident of Umatilla and works for Forestar, stated Forestar is a division of D.R. Horton. He showed some slides of what the development will look like upon completion. He also shared slides showing other communities developed using a similar development plan.

Joann Valerio, 38125 Crystal Lane, asked if there is any chance of getting a traffic signal in the area of 450A and SR 19. Ms. Valerio also expressed concern about drainage.

Aaron Mercer, Development and Public Services Director, stated the first phase of the Magnolia Point development was approved, and each phase requires a traffic study. There are thresholds that must be met. The decision for placement of traffic signals is outside the purview of the City.

Mr. Mercer stated the St. Johns River Water Management District reviews drainage closely and would not allow a drainage plan that would cause flow into wetlands, ultimately flooding another person's property.

Mr. Stone stated any testimony from other interested parties should be allowed at this time. There were no additional comments.

**MOTION by Vice Mayor Brian Butler to approve the first reading Ordinance No. 2021-F
SECOND by Council Member John Nichols
Motion APPROVED by unanimous vote.**

NEW BUSINESS

Kevin Stone, City Attorney, stated there is no new business but he pointed out the City Council has an opportunity to remove the Tyler Technologies Contract from the agenda and take action on same.

MOTION by Council Member Kaye Adams to remove the Tyler Technologies Contract from the table;

SECOND by Council Member John Nichols

Motion APPROVED by unanimous vote.

MOTION by Council Member Kaye Adams to approve the Tyler Technologies Contract;

SECOND by Council Member John Nichols

Motion APPROVED by unanimous vote.

REPORTS

Mayor Adcock mentioned the upcoming Florida League of Cities conference. Mr. Blankenship stated the Ethics class will be available to attendees.

Council Member Nichols had nothing to report.

Councilmember Adams announced the upcoming Educator breakfast this coming Friday and the Citrus Label Tour on August 23, 2021.

Vice Mayor Butler had nothing to report.

Council Member Creech had nothing to report.

Mayor Adcock asked Amy Shultz, Library Director, to provide her report to the City Council. Ms. Shultz stated the Department of Health is available to do a pop-up vaccination site. She has spoken with Mr. Blankenship about this and he was supportive. With City Council's support, she will contact the Department of Health and get them scheduled so the dates can be publicized. There were no objections.

Aaron Mercer, Development and Public Services Director, provided an update with regard to the swimming pool rehabilitation project.

ADJOURNMENT

With no further business for discussion, meeting adjourned at approximately 7:07 p.m.

Kent Adcock, MAYOR

Gwen Johns, MMC
City Clerk

**MINUTES, UMATILLA CITY COUNCIL
BUDGET WORKSHOP
AUGUST 3, 2021 5:00 P.M.
COUNCIL CHAMBERS, 1 S CENTRAL AVENUE, UMATILLA**

Mayor Adcock led Pledge of Allegiance and gave the Invocation.

The meeting was called to order at 5:00 p.m.

SWEARING IN OF NEWLY APPOINTED COUNCIL MEMBER CHRIS CREECH

Mayor Adcock invited Kevin Stone, City Attorney to introduce the newest member of City Council, Chris Creech. Mr. Stone administered the Oath of Office to Mr. Creech and welcomed him to the City Council.

ROLL CALL

PRESENT: Kent Adcock, Mayor; Council Members Kaye Adams, John Nichols, Brian Butler, Chris Creech; City Manager Scott Blankenship; City Attorney Kevin Stone; Finance Director Regina Frazier; Development and Public Services Director Aaron Mercer; Police Chief Adam Bolton; Interim City Clerk Gwen Johns; Assistant to the City Manager Misti Lambert

NEW BUSINESS

Presentation of Budget Items

- a) Plan to increase employee wages to new minimum wage rate of \$15 per hour by 2026
- b) Police Officers Starting Salaries
- c) City Council and Mayor Salaries
- d) ERP Software Upgrade with Tyler Technologies

Regina Frazier, Finance Director, said if the starting salary for police officers is increased, the cost for fiscal year 2021-22 would be \$15,600, bringing the starting hourly rate to \$18.50.

For general employees, an additional \$12,000 will address the first step in bringing all employees up to the mandated \$15.00 per hour minimum wage. Those employees who are paid less than \$12.00 per hour would be eligible for a 6.5% pay increase every year until year 2026. Those employees who are currently paid between \$13.00 and \$14.00 per hour would be eligible for a 4.5% increase. Everyone else would be eligible for a \$4% increase, bringing all employees to the required \$15.00 per hour by 2026.

Ms. Frazier stated there is currently \$946,000 in reserves and this is because of unknown impacts of COVID-19 into the future. Funding the salary changes from reserves would be possible without creating a compromised situation with the reserve fund.

Mayor Adcock asked if there are funding options available outside of using reserves.

Scott Blankenship, City Manager, stated staff recommendation will be to use reserve dollars to fund salary increases. A lean budget for the current year was presented and therefore Mr. Blankenship does not know if there are areas that could be comfortably reduced to fund salary increases. However, it has been determined other Cities are using CRA dollars to fund special services provided by public safety personnel. This may be an option for staff to explore and bring information back to City Council.

Ms. Frazier reminded City Council, for a majority of the intergovernmental revenues the City receives, estimates are not available until later in the month of August. Therefore, numbers being presented at this time could change although when preparing the budget, Ms. Frazier said she was fairly aggressive with her estimates.

With regard to the ERP software upgrade, Mr. Blankenship addressed the need for this new product. The City currently uses Edmunds software which is not going to be sufficient for future growth. Currently staff is doing a significant amount of manual data entry that would be completed automatically with a more up to date software system. Tyler Technologies, being proposed, would make the City more efficient and reduce work hours. There are several components to the software to provide increased efficiency including building permitting, report generation, cemetery and other modules tailored to municipal government.

In addition, Ms. Frazier stated parts of the software being used for utilities presents the opportunity to be funded through those utility revenues as a direct cost of doing business. This would reduce the amount being paid from the general fund. The Building Department revenues will cover the cost for the building related module of the software.

It is anticipated the software will take approximately one year for implementation. Full maintenance will not have to be paid for until the software is operative.

Following discussion, Mr. Blankenship stated the tentative budget will be prepared with consideration of the items discussed today.

Kevin Stone, City Attorney, advised City Council that they may remove the Tyler Technologies agenda item from the table and act on it in their regular City Council meeting this evening since it was tabled on July 20, 2021.

The majority consensus of City Council was for the software proposal to be approved by City Council, allowing for City staff to move forward with Tyler Technologies. This item will be addressed formally at the regular City Council meeting.

No discussion was held regarding City Council salaries.

ADJOURNMENT

There being no additional business for discussion, the meeting Adjourned at 5:54 p.m.

Kent Adcock
Mayor

Gwen Johns, MMC
City Clerk

**CITY OF UMATILLA
AGENDA ITEM STAFF REPORT**

DATE: August 10, 2021

MEETING DATE: August 17, 2021

SUBJECT: Umatilla Bike Path – Community Workshop

ISSUE: Summary of Community Meeting

BACKGROUND SUMMARY: The City of Umatilla, in conjunction with the Umatilla Chamber of Commerce and GAI Consultants held a community workshop to review proposed trail routes from the south end of the city to the north. In addition to the trail routes, citizens were able to view the future plans for Umatilla Blvd. and the regional trail system the Umatilla bike trail would tie into. Participants were able to vote on trail alignment, offer ideas, ask questions, voice concerns, and enjoy a beautiful spread of refreshments provided by the Chamber. The community showed an outpouring of excitement and support for the project.

STAFF RECOMMENDATIONS: Information only

FISCAL IMPACTS: \$0

COUNCIL ACTION:

Reviewed by City Attorney Yes No **vN/A**

Reviewed by City Engineer Yes No **vN/A**

City of Umatilla

Umatilla Bike Path - Public Workshop

Subject	Public Open House Summary
Date	July 13, 2021
Time	5:30 PM – 7:00 PM
Location	Community Center at Cadwell Park, 1 Cassady St., Umatilla, FL



Process

The purpose of this public workshop was to receive community feedback on possible bike connections in downtown Umatilla. The workshop was held at the Cadwell Park community center and included 3 workshop stations provided by GAI Consultants focused on trail alignments through downtown Umatilla as well as a fourth station provided by Lake County staff discussing regional trail connections. Light refreshments were provided by the chamber of commerce.

Upon arriving participants were greeted at a sign-in station from where they could participate in any of the other three stations. The alternative route station provided participants the opportunity to discuss trail alignments within Umatilla and vote on the connection of the trail through downtown Umatilla as well as provide their own ideas of possible improvements. An additional board with future Umatilla Blvd. plans was also provided for additional context and site understanding. At the cross-section station, participants could explore a possible side trail cross section and see images of sample projects. Finally, the regional trail station provided by Lake County staff provided informational context to the future regional connections to which the Umatilla bike trail system would connect.

Attendance

There was a total of 28 participants who signed into the public workshop.

COMMUNITY SOLUTIONS GROUP

SIGN-IN SHEET

Orlando Bike Path
Public Workshop
July 13, 2021

Planning | Urban Design
Landscape Architecture
Economics | Real Estate

Name	Address	E-Mail
Miko Stephens	41243 Silver Dr, Umattilla	mike.stephens@unitedsouthernbank.com
Wendy Paeck	56 Lakewood Terrace Dr. LVF	wpaeck@gmail.com
JANEAN KEAGAN	216 SUNNYMOUNT DR Altamonte	
Bernie Greenberg	" " " "	berniegreenberg@hotmail.com
Stan Napier	12418 Blueberry Loop ³⁴⁷⁸⁸ GRAND ISLAND	Trout Lake -
BOB WEXLER	13109 LAUREL CREEK CT	TROUT LAKE
Bob Johnson	Umattilla	
Becki McDermott	44 Lakewood Terrace Dr Altamonte	berniedermott@att.net
John Johnson	707 Palm & Pine DR Leetonia	T RUC LARK
Tom Williams	PO Box 1115 Altamonte	twilliams95@hotmail.com
Peter Tarby	190 Lakeside Ave	petetarby@yahoo.com
Ben Johnson	41243 Silver Dr SR Rd 19	
Eileen & Bill Trammittan	57224 Sunrise Terr.	tlnc-director@gmail.com
Kyle Adams	109 Wingfield dr	KLA19solmag@earthlink.net
Lee Ann Wilson	P.O. Box 1658 Umattilla 32784	wildawm@yahoo.com

COMMUNITY SOLUTIONS GROUP

SIGN-IN SHEET

Umattilla Bike Path
Public Workshop
July 13, 2021

Planning | Urban Design
Landscape Architecture
Economics | Real Estate

Name	Address	E-Mail
Aaron Mercer	City of Umattilla	amercer@umattillafl.org
Alan Bolton	city of Umattilla	abolton@umattillafl.org
John & Mary Nichols	" " "	empire507@gmail.com
Leti & Paul Webb's	✓	Leti@pdrkassoc.com
Susanmaria	39651 Cresthaven Ct 32784	susanmaria818@gmail.com

COMMUNITY SOLUTIONS GROUP

SIGN-IN SHEET

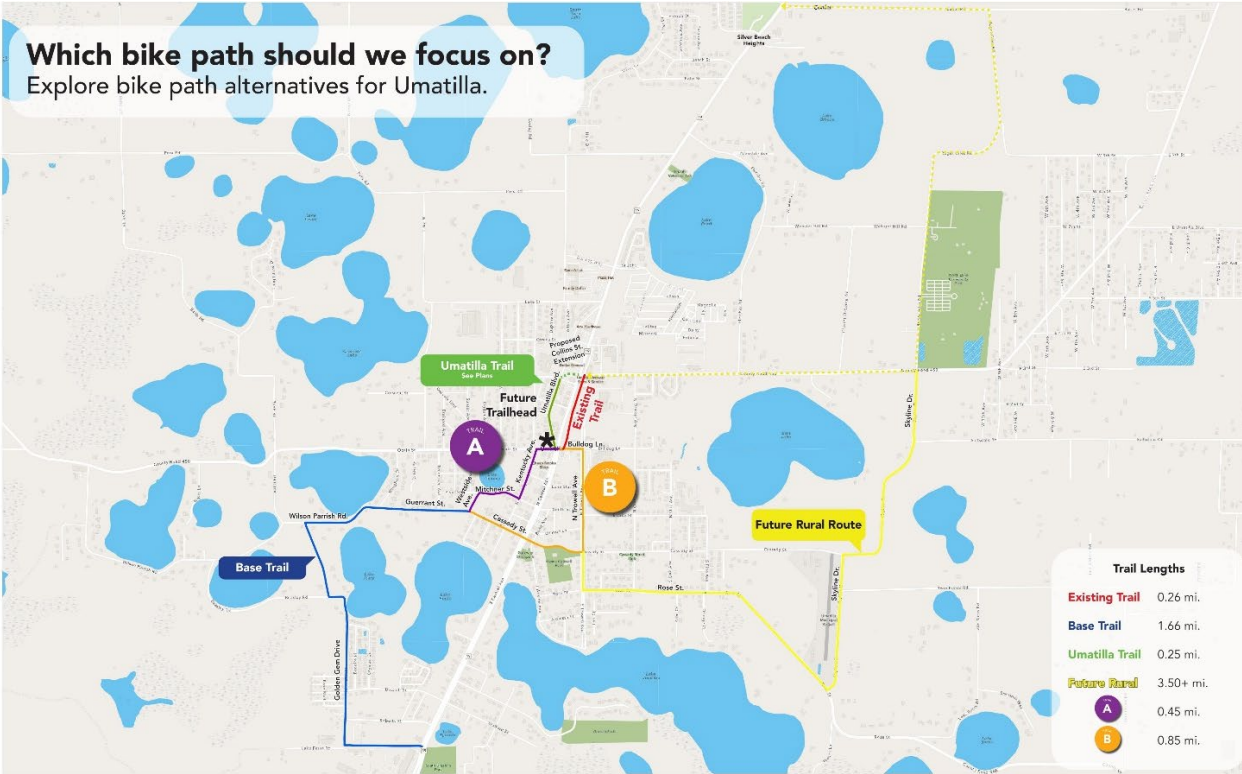
Umattilla Bike Path
Public Workshop
July 13, 2021

Planning | Urban Design
Landscape Architecture
Economics | Real Estate

Name	Address	E-Mail
Julie Waskow	41240 SR 19 Umatilla	
Chick Creech	170 Grandview Ave Umattilla	mrwilliamson62@yahoo.com
Michael Williamson	215 Lori Ct Umattilla	ba-williamson@lync.com
Anna Williamson		
MATT DEAN	151 W. Central	mattdean@psd.com
Misti Lambert	480 Cassady St	mlambert@umattillafl.org

Trail Alignments

At the trail alignment station there was an informational board, detailing the separate trail segments and various options, as well as a participation board where participants could vote on their preferred trail alignment or draw their own on a blank map.



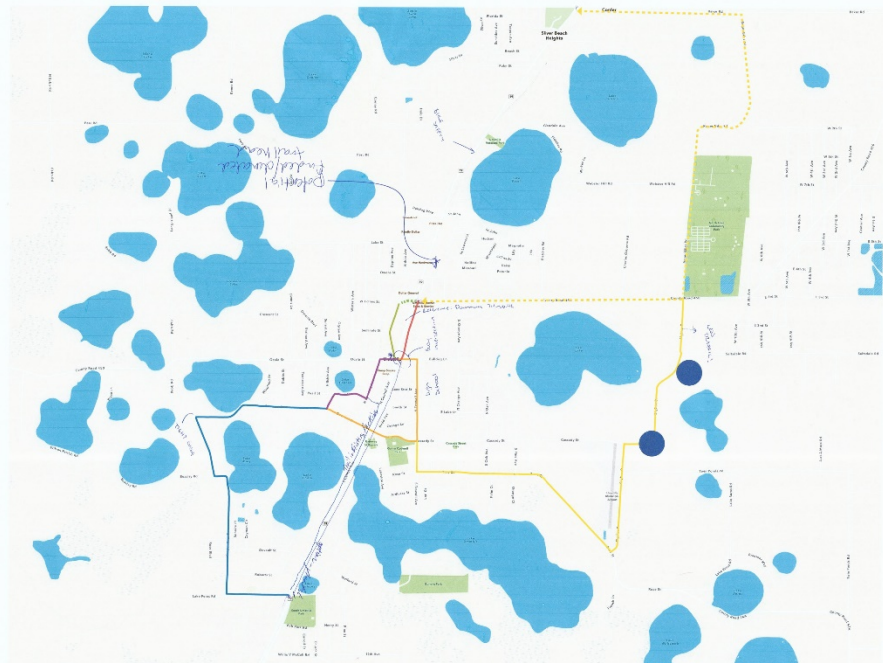
Rank your priorities.

Vote for your preferred route.



Have a different idea? Let us know.

Draw your alternate route on the map below.



Voting

There was a total of 12 votes on possible trail alignments with 10 votes for the western “A” alignment and only 2 votes for the eastern “B” alignment. Participants cited primarily traffic and bike safety as their main concerns with particular mentions of the dangers of crossing SR-19 as well as high school traffic to the east leading to a prioritization of the quieter “A” alignment. For residents, a leisurely scenic route was preferred with many commenting on the possible rural route as a highly desirable path.

Alternate Routes

In addition to voting on alternate routes, participants were able to draw and write on a blank map with other suggestions or comments. The most common suggestion was to work with FDOT to provide a bike trail along the western side of SR-19. Understanding the limitations of this approach, it was suggested that the City pursue other routes while continuing to push for this alignment. Participants also supported the development of a new trailhead and mentioned previous talks to develop a trailhead near the intersection of SR-19 and Lake St. Possible comparable trails cited included Winter Garden’s Plant St. and Downtown Titusville.



**CITY OF UMATILLA
AGENDA ITEM STAFF REPORT**

DATE: August 11, 2021

MEETING DATE: August 17, 2021

SUBJECT: Magnolia Pointe Subdivision

ISSUE: Final Reading of Ordinance No. 2021-F, Proposed amendment

to the PUD and Development Agreement

BACKGROUND SUMMARY: The owner is seeking an amendment to the existing PUD Conceptual Plan and Developers Agreement approved by the City Council on October 6, 2020.

This request is to amend or clarify the following:

- Reduce the number of residential lots from 506 to 480
 - Clarify the open space required as 44.48 acres (25% of developable acreage)
 - Decrease the overall density from 2.79 units/acre to 2.68 units/acre
 - Allow varying lot sizes that range from 40' to 49' (143 lots) and 50' to 59' (334 lots) with an option to also utilize 60' to 69' lots; R
 - Reduce the minimum living area from 1300 SF to 1200 SF;
 - Increase the ISR from 50% to 75% on each individual lot;
 - Revise the side setbacks from 7.5' to 5'; reduce the rear setback from 15' to 10' on the 40' to 49' lots;
 - Revise the residential design guidelines to encourage front elevations but not require emphasize entries and porches; no minimum requirement for windows and doors; delete the garage limitations; delete the requirement that no more than 85% of the lots are permitted to contain front loaded garages; delete the minimum separation distance for garage; and allow foam shutters and corbels on the exterior finishes;
 - Change phasing from 4 phases to 5 phases;
 - Reduce the size of the main recreation parcel from 3.78 acres to 3.24 acres;
 - Clarify utility requirements and submittal of a Master Utility Plan;
 - Clarify landscape buffers will utilize the planting requirements of a Type "B" buffer, and tree replacement criteria.
-

STAFF RECOMMENDATIONS: Approval

FISCAL IMPACTS: N/A

COUNCIL ACTION:

Reviewed by City Attorney Yes No vN/A

Reviewed by City Engineer Yes No vN/A

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ORDINANCE 2021- F

AN ORDINANCE OF THE CITY OF UMATILLA, COUNTY OF LAKE, STATE OF FLORIDA, MODIFYING THE PLANNED UNIT DEVELOPMENT (PUD) ZONING OF 317± ACRES OF LAND CURRENTLY ZONED PLANNED UNIT DEVELOPMENT (PUD) IN THE CITY OF UMATILLA FOR THE HEREAFTER DESCRIBED PROPERTY OWNED BY COLIN B. JOHNSON LOCATED EAST OF CHURCH STREET AND SOUTH OF MILLS STREET; APPROVING A MASTER DEVELOPER’S AGREEMENT FOR THE PROPERTY; PROVIDING FOR CONDITIONS AND CONTINGENCIES; DIRECTING THE CITY MANAGER TO PROVIDE CERTIFIED COPIES OF THIS ORDINANCE AFTER APPROVAL TO THE CLERK OF THE CIRCUIT COURT, AND THE LAKE COUNTY MANAGER; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a petition has been submitted by Colin Johnson as Owner, to rezone approximately 317 acres of land by updating a Planned Unit Development (PUD);

WHEREAS, the Petition bears the signature of all required parties; and

WHEREAS, the required notice of the proposed rezoning has been properly published;

WHEREAS, the City Council reviewed said petition, the recommendations of staff ~~report~~ and any comments, favorable or unfavorable, from the public and surrounding property owners at a public hearing duly advertised;

WHEREAS, upon review, certain terms pertaining to the development of the above described property have been duly approved , and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Umatilla, Florida, as follows:

Section 1: Purpose and Intent.

That the zoning classification of the following described property, being situated in the City of Umatilla, Florida, shall hereafter be designated as PUD, Planned Unit Development, as defined in the Umatilla Land Development Regulations. The property is more particularly described and depicted as set forth on Exhibit “A” and as depicted on the map attached hereto as Exhibit “B” and incorporated herein by reference.

LEGAL DESCRIPTION: See Exhibit “A”

Section 2: Zoning Classification.

That the property shall remain designated as within the PUD, Planned Unit Development District, in accordance with Chapter 6, Section 2(k) of the Land Development Regulations of the City of Umatilla, Florida. The property rezoned pursuant to this section shall be subject to the Umatilla Land Development Regulations pertaining to properties within the Planned Unit Development District and shall be developed according to the Master Developer’s Agreement attached hereto as Exhibit “C”.

Section 3: Severability.

If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

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Section 4: Contingency; Effective Date.

This ordinance shall become effective immediately upon passage by the City Council of the City of Umatilla.

PASSED AND ORDAINED in regular session of the City Council of the City of Umatilla, Lake County, Florida, this _____ day of _____, 2021.

Kent Adcock, Mayor
City of Umatilla, Florida

ATTEST:

Gwen Johns
City Clerk

Approved as to Form:

Kevin Stone
City Attorney

Passed First Reading _____
Passed Second Reading _____
(SEAL)

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**EXHIBIT A
LEGAL DESCRIPTION**

EXHIBIT A

Legal Description

Parcel 1:

The Northwest Quarter of the Northwest Quarter of the Northwest Quarter of Section 25, Township 18 South, Range 26 East, Lake County, Florida, LESS AND EXCEPT Road Right of Way per Official Records Book 1701, Page 810, of the public records of Lake County, Florida.

Parcel 2:

The Northeast Quarter of the Northwest Quarter of the Northwest Quarter of Section 25, Township 18 South, Range 26 East, Lake County, Florida, LESS AND EXCEPT Road Right of Way per Official Records Book 1701, Page 810, of the public records of Lake County, Florida.

Parcel 3:

The North Half of the Northeast Quarter of the Northwest Quarter of Section 25, Township 18 South, Range 26 East, Lake County, Florida.

Parcel 4:

Lots 89, 90, 91, 92, 101, 102, 103, 104, and 112, of Eustis Meadows Subdivision, according to the plat thereof recorded in Plat Book 1, Page 2, of the Public Records of Lake County, Florida, LESS AND EXCEPT That portion of Lots 102, 103, and 112, included within the Plat of Crooked Oak Estates, as recorded in Plat Book 21, Pages 19 and 20, of the Public Records of Lake County, Florida, AND LESS AND EXCEPT that portion of Lot 112 included within the Warranty Deed recorded in Official Records Book 2330, Page 1303, of the Public Records of Lake County, Florida.

TOGETHER WITH:

That Part of Lot 111 of Eustis Meadows Subdivision, according to the plat thereof recorded in Plat Book 1, Page 2, of the Public Records of Lake County, Florida, described as follows: Commence at the Northwest Corner of said Lot 111, of said Eustis Meadows Subdivision and run South 00 Degrees 50 Minutes 17 Seconds East along the West line of said Lot 111 a distance of 202.10 feet to the Point of Beginning; Thence run North 87 Degrees 15 Minutes 53 Seconds East to a point on the East line of said Lot 111; Thence run South 00 Degrees 27 Minutes 30 Seconds East along the East line of said Lot 111 to the Southeast Corner of said Lot 111; Thence run Westerly along the South line of said Lot 111 to the Southwest corner of said Lot 111; Thence run North 00 Degrees 50 Minutes 17 Seconds West along the West line of said Lot 111 to the Point of Beginning.

Parcel 5:

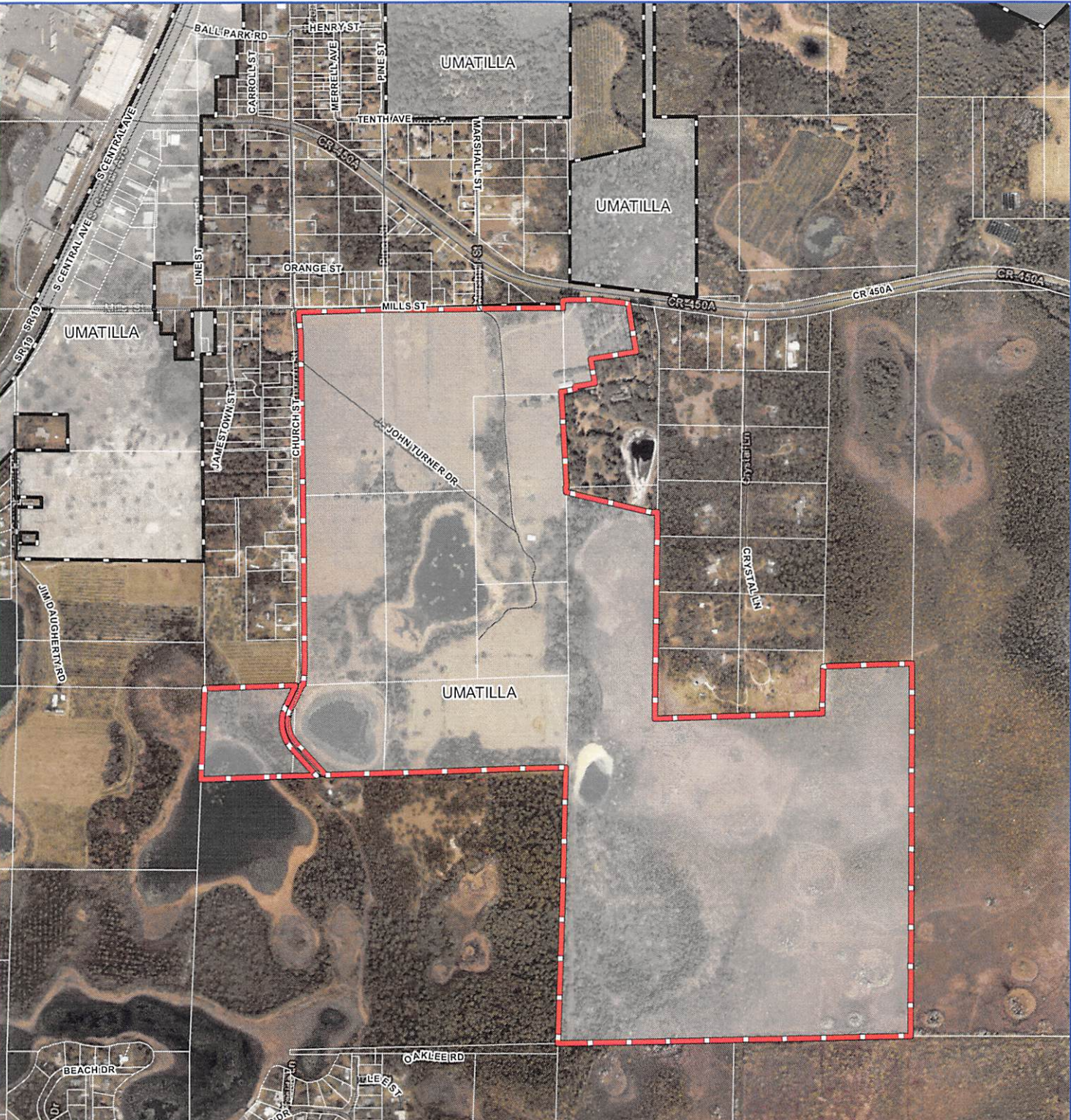
The Southeast Quarter of the Southeast Quarter of the Southwest Quarter of Section 24, Township 18 South, Range 26 East, Lake County, Florida.

Parcel 6:

The West Half of the Southeast Quarter of the Southwest Quarter of Section 24, Township 18 South, Range 26 East, Lake County, Florida.

Parcel 7:

The East Half of the Southwest Quarter of the Southwest Quarter of Section 24, Township 18 South, Range 26 East, Lake County, Florida, LESS AND EXCEPT Road Right of Way per Official Records Book 1701, Page 806, of the Public Records of Lake County, Florida.



UMATILLA

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UMATILLA

BALL PARK RD

HENRY ST

MERRELL AVE

PINE ST

TENTH AVE

MARSHALL ST

CARROLL ST

ORANGE ST

MILLS ST

CR 450A

CR 450A

CR 450A

UNE ST

JAMESTOWN ST

CHURCH ST

JOHN TURNER DR

CRYSTAL LN

CRYSTAL LN

JIM DAUGHERTY RD

BEACH DR

AKLEERD

LE ST

AMENDED AND RESTATED MASTER DEVELOPER'S AGREEMENT

This Amended and Restated Master Developer's Agreement (the "Agreement") is made this ____ day of _____, 2021, by and between the CITY OF UMATILLA, a Florida municipal corporation ("City"), whose address is 1 South Central Avenue, Umatilla, Florida 32784, and Colin Johnson, ("Owner"), whose address 36161 Clear Lake Drive, Eustis, Florida, 32736, hereinafter referred to collectively as the "Parties."

RECITALS

1. The Owner desires to rezone approximately ~~317~~ 314.67+ acres of property within the City of Umatilla, described and depicted as set forth on Exhibit "A" attached to and incorporated in this Agreement (hereafter referred to as the "Property").

Formatted: Strikethrough

2. The Property is currently located within the City of Umatilla and is currently zoned "Planned Unit Development (PUD)" with a future land use designation on the City of Umatilla Future Land Use Map of "Single Family Low Density."

3. Owner has filed applications for rezoning for the Property as a residential planned unit development.

4. Owner represents that it is the sole legal owner of the Property and that it has the full power and authority to make, deliver, enter into, and perform pursuant to the terms and conditions of this Agreement and has taken all necessary action to authorize the execution, delivery, and performance of the terms and conditions of this Agreement.

5. The City of Umatilla has determined that the rezoning of the Property is consistent with the City's Comprehensive Plan and the proposal for its development presents, among other things, an opportunity for the City to secure quality planning and growth, protection of the environment, and a strengthened and revitalized tax base.

6. Owner will fund certain public improvements and infrastructure to facilitate the development of the Property.

7. The Property is within the City's Chapter 180, Florida Statutes, utility district, and Owner has requested and City desires to provide water and sewer as well as other municipal services to the Property.

ACCORDINGLY, in consideration of the mutual benefits and the public interest and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

Section 1. Recitals. The above recitals are true and correct, are hereby incorporated herein by reference, and form a material part of this Agreement. All exhibits to this Agreement are hereby deemed a part thereof.

Section 2. Conditions Precedent. Owner has filed an application for rezoning for the Property. It is understood and agreed to by the City and the Owner that this Agreement shall not be binding or enforceable as to any party unless and until: a) the City duly adopts the Agreement and b) the City adopts an ordinance rezoning the Property. The parties hereto understand and acknowledge that the City is in no way bound to rezone the Property. The City shall have the full and complete right to approve or deny the application for rezoning.

Section 3. Land Use/Development. Development of the Property shall be substantially consistent with the "Conceptual Site Plan" prepared by Dewberry Engineers, Inc., dated MARCH, 2021 and attached as Exhibit "B" (the "Plan"). All development shall be consistent with the City's "PUD" (Planned Unit Development) zoning district and, subject to City approval. All land uses must conform to uses and densities/intensities allowed within the land use designations assigned to the Property on the Future Land Use Map of the City's adopted

Comprehensive Plan. As set forth further below, all land use issues addressed herein must be adopted by City through its regular procedures before being effective. Failure of this Agreement to address any particular permit, condition, term, or restriction shall not relieve Owner of the necessity of complying with the law governing said permitting requirements, conditions, term, or restriction.

- Section 4. Permitted Uses.** Permitted Uses shall be:
- a. Detached Single family residential not to exceed four hundred eighty (480) units.
 - b. Passive and Active Recreation Facilities.
 - c. Temporary modular office uses shall be allowed during construction.
 - d. Agricultural uses currently conducted onsite as an interim land use on the undeveloped portions of the Property until seventy-five (75%) of the land area has been developed.
 - e. Up to six (6) model homes prior to platting, after approval of the preliminary plan, provided that the model homes shall not be eligible to receive certificates of occupancy for residential use until final plat approval. All off-street parking for model homes shall comply with the requirements in the City's Land Development Code.

- Section 5. Residential Development Standards.** Development Standards shall be as follows:
- a. All lots must be at least 110' in depth. The plan shall include a minimum of two (2) of the following lot width categories (actual lot widths shall be rounded down to the nearest foot):
 - 40'-49' - a maximum of 30% of lots shall meet this standard
 - 50' - 59'
 - 60'-69'
 - b. The minimum living area shall be 1,200 square feet for the detached single family homes.
 - c. Maximum Impervious Surface Ratio (ISR) - Seventy-Five Percent (75%). The ISR is in lieu of a maximum building coverage and must be met on each individual residential lot.
 - d. Minimum Setback requirements for residential units shall be as follows. Setbacks for garages facing road right of way shall be measured from (a) the road right of way or (b) existing or future sidewalk pavement; all other setbacks are measured from the lot boundary. In no case shall the setback be less than ten (10) feet between structures.

LOT WIDTH CATEGORIES

	<u>40'-49'</u>	<u>50'-59'</u>	<u>60'-69'</u>
Front (general)	20'	20'	20'
Front (garage)	25'	25'	25'
Side (general)	5'	5'	5'
Side (corner lot facing ROW)	15'	15'	15'
Side Entry Garage (facing ROW)	25'	25'	25'
Rear (general)	10'	15'	15'
Rear (facing Road ROW)	15'	20'	20'
Accessory	5'	5'	5'

- e. Maximum building height shall be limited to thirty five feet (35').
- f. Parking: The Applicant will be required to meet the parking requirements of the Umatilla Land Development Regulations for the proposed uses. Notwithstanding anything to the contrary in the Umatilla Land Development Regulations, exterior driveways may count towards parking counts for each associated residence. Parking requirements will be determined at preliminary plat review for each phase.
- g. An equipped playground and swimming pool with cabana shall be provided within the active recreation park designated on the Plan. A minimum 8' wide trail system providing connections to the project's open spaces shall be installed with the infrastructure of each phase as generally

depicted on the Plan. Final location of the trail will be determined with construction plans. Construction and installation of all proposed playground equipment for Phase 1 shall be installed prior to the City issuing the 51st building permit. The construction of the pool, cabana and required parking will be completed prior to the issuance of the 200th residential building permit. A site plan will be required for the proposed pool, cabana and onsite parking.

- h. For clarity and avoidance of doubt, the open space requirement associated with the development of the Property shall be 25% of the total developable acreage of the Property.
- i. Any zoning standard not specifically listed in this Agreement shall be in compliance with the R-5 zoning district standards and other applicable sections of the Land Development Code.

Section 6. Residential Design Standards. Residential Design Standards shall meet the requirements of the Umatilla Lane Development Code with the following exceptions from Chapter 6, Section 4, Paragraph 6) Design Standards:

- a. In lieu of a.2, lot sizes and patterns ~~shall be consistent with the Plan in the neighborhood shall be varied in accordance with the PD plan and housing styles shall be in accordance with the various housing models and associated numerous elevations provided in the PD plan.~~
- b. In lieu of a.4, front elevations are encouraged but not required to emphasize entries and porches.
- ~~b.c.~~ In addition to the items listed under c.2., foam shutter accents and foam corbels are acceptable architectural components;
- d. In lieu of f.1, 50' wide lots and 60' wide lots with a 1-story product shall have doors and windows covering at least fifteen (15%) of the primary front facade (exclusive of the garage facade); 40' wide lots shall have no minimum requirement for window and door coverage on the front the front of a residence.
- ~~e.e.~~ In lieu of i.2; no maximum garage coverage for the front of the residence.
- ~~d.f.~~ In lieu of i.3, no minimum separation between the garage and the primary front façade of the home.
- ~~e.g.~~ In lieu of i.6, no maximum allowed number of lots with front-loaded garages.
- ~~f.h.~~ Notwithstanding anything to the contrary in this Agreement, the Parties agree that the elevations submitted with the Plan meet the Residential Design Standards with the exception of the items set forth in this Section 6.

Section 7. Site Access and Transportation Improvements. Vehicular access to the Property shall be provided by one (1) primary access point on CR 450A and one (1) emergency-only access on Church Street. There shall be no access to Mills Street. The primary access on CR450A shall be constructed in Phase 1. The primary access shall be through a divided landscaped boulevard type road. Actual location and design of the boulevard shall be determined during Preliminary Plat review process and shall include sidewalks on both sides of the boulevard. Other potential vehicular and pedestrian accesses will be reviewed during the development review process.

- a. The Permittee shall provide all necessary improvements within and adjacent to the development as required by FDOT, Lake County and City of Umatilla.
- b. All roads within the development shall be designed and constructed by the developer to meet the applicable City of Umatilla minimum requirements.
- c. Sidewalks shall be provided on both sides of the local internal roads and shall provide cross connections to all recreation and residential areas. Internal road rights-of-ways shall be of sufficient width to contain the sidewalks. All sidewalks shall be constructed in accordance with City of Umatilla Land Development Code.
- d. The City of Umatilla will not be responsible for the maintenance or repair of any of the roads or transportation improvements prior to acceptance thereof, which will be in accordance with the terms of the approved final construction plans and Land Development Code. The project entrance may be gated, in which event the Permittee shall establish an appropriate legal entity that will be responsible to pay the cost and perform the services to maintain the roads and transportation improvements.

- e. The City of Umatilla may accept ownership of the roads and transportation improvements dedicated for public use on the final plat only on the condition they meet City of Umatilla Land Development Code and are constructed to City of Umatilla specifications. The approval of a Preliminary Plat in connection with the project or any phase thereof may be conditioned upon an acceptable plan for mitigating damage to roads during construction and repair and restoration of roads to acceptable condition prior to the City's acceptance thereof. Prior to the City's acceptance, upon completion of infrastructure of each phase, the Owner shall post a maintenance bond with a duration of two (2) years from the date the City issues written certificate of occupancy acceptance of the roads and transportation improvements. The maintenance bond must be twenty percent (20%) of the construction costs for the improvements as certified by the project engineer and reasonably approved by the city. There shall be no construction vehicles driving over or parking on the roads, transportation improvements, sidewalks, curbs or drainage improvements once a certificate of occupancy is issued, unless otherwise required for access during home construction. Contractors will be responsible for damage and repairs. Prior to commencing construction Owner shall submit to the City, for City's approval, the proposed construction entrance. Multiple construction entrances may be required and will require Lake County Public Works driveway permits.
- f. A traffic/transportation study in accordance with the traffic analysis requirements of the City Land Development Code shall be submitted prior to construction plan approval for review and determination of any necessary access or off-site improvements including any which may be required by the Florida Department of Transportation and Lake County. Said improvements will be the responsibility of the Permittee and must be in place prior to or concurrent with the impacts of development.
- g. The Property shall be fully vested from Transportation Concurrency pursuant to compliance with this Section 9.

Section 8. Lighting. All exterior lighting shall be arranged to reflect light away from adjacent properties to the greatest extent possible while providing lighting adequate to ensure safety on road right of way.

Section 9. Water, Wastewater, and Reuse Water. Subject to the terms herein, Owner and their successors and assigns agree to obtain water, reuse water, irrigation water, and wastewater service (hereafter, "Utilities") exclusively through purchase from City when available. Owner covenants and warrants to City that it will not engage in the business of providing such Utilities to the Property or within City's F.S. Chapter 180 utility district. Notwithstanding the foregoing, private wells for irrigation purposes will be allowed within the Property's active and passive parks, entry feature areas and common areas, so long as such wells are approved and permitted by the St. Johns River Water Management District (the "District") and comply with the rules and regulations of the District. Owner shall construct, at Owner's expense, all on-site utility facilities (e.g. lift stations and lines) as well as pay for the extension of facilities from City's current point of connection. Owner shall also construct, at Owner's expense, "dry" utility lines for reclaimed water purposes. All such improvements must be constructed to City requirements and transferred to City as a contribution in aid of construction. Owner shall prepare and submit a Master Utility Plan ("MUP") to the City prior to or in conjunction with the first phase of construction plans. The MUP shall identify any needed offsite utility improvements. Owner and City may enter into a pioneering agreement regarding a proportionate share contribution for properties desiring to connect to the utility improvements. In the event the City requests that Owner construct utility lines in excess of the size needed to serve the Property, City and Owner shall negotiate in good faith to enter into a utility upsizing agreement.

Section 10. Impact Fees. Owner shall be required to pay impact fees as established by City from time to time, including water and wastewater impact fees. The amount to be paid shall be the adopted impact fee rate schedule at the time of building permit issuance. Notwithstanding the foregoing, Owner may, at any time, elect to pre-pay such impact fees for as many units as Owner submits full payment to the City for the impact fees in effect at the time such payment is made. In such event, such pre-payment shall result in pre-paid impact fee credits for the Property which shall be applied by the City upon the issuance of building permits. The City hereby agrees to reserve utility capacity for the Property provided that Owner is in full compliance with the terms and conditions of this Agreement.

Section 11. Easements. Owner shall provide the City such easements or right of way in form acceptable to the City Attorney, as the City deems necessary for the installation and maintenance of utility services, including but not limited to sewer, water, and reclaimed water services.

Section 12. Landscaping/Buffers. Developer has reviewed City's Land Development Code relating to landscaping and agrees to comply with such regulations. Owner shall, at its sole expense, install underground irrigation systems on all common areas of the Property, as well as exercise any other measures reasonably necessary to ensure the long-term maintenance of the landscaping. A twenty-five (25) foot wide buffer shall be provided along the entire PUD perimeter, with the exception of where wetlands abut the perimeter in which case no buffer is required. A decorative wall shall be provided within the buffer for the full property frontage abutting Church Street and Mills Street and shall be installed for each phase prior to the City's acceptance thereof. Said improvements shall be placed within an easement or tract dedicated to the Homeowner's Association for ownership and maintenance.

Owner acknowledges City's goal of achieving a greater level of tree preservation within the City. In aid of such goal, Owner agrees to comply with all applicable City of Umatilla Land Development Code pertaining to tree removal and replacement. For clarity and avoidance of doubt, plantings consistent with the City's Type B buffer plant requirements shall be required within the twenty-five (25) foot wide buffer. Tree inventory transects shall be allowed to calculate tree replacement inches. Owner shall be allowed to perform mass grading activities within the PUD Boundary in accordance with all applicable City of Umatilla Land Development Code and consistent with the Water Management District Permit for the Property.

Section 13. Stormwater Management. Owner agrees to provide at Owner's expense a comprehensive stormwater management system consistent with all regulatory requirements of the City and the St. John's River Water Management District. Impacts to flood plains are allowed in accordance with the Water Management District procedures for compensating storage and will be based on the 100-year floodplain established by Lake County.

Section 14. Other Municipal Facilities/Services. The City hereby agrees to provide, either directly or through its franchisees or third-party providers, police and fire protection, emergency medical services, and solid waste collection, disposal, and recycling services to the Property under the same terms and conditions and in the same manner as are afforded to all other residential property owners within the City.

Section 15. Environmental Considerations. The Owner agrees to comply with all Federal, State, County, and City laws, rules and regulations regarding any environmental issues affecting the Property.

Section 16. Signage. Owner shall submit a master sign plan as a component of the Phase I preliminary plat application for the Property. Such plan shall be in compliance with all applicable regulations contained within the City of Umatilla's Land Development Code, unless City grants a waiver or variance pursuant to the City's Land Development Code.

Section 17. Title Opinion. Owner shall provide to City, in advance of the City's execution of this Agreement, a title opinion of an attorney licensed in the State of Florida, or a certification by an abstractor or title company authorized to do business in the State of Florida, showing marketable title to the Property to be in the name of the Owner and showing all liens, mortgages, and other encumbrances not satisfied or released of record.

Section 18. Compliance with City Laws and Regulations. Except as expressly modified herein, all development of the Property shall be subject to compliance with the City Land Development Code and City Code provisions, as amended, as well as regulations of County, State, local, and Federal agencies. All improvements and infrastructure shall be constructed to City standards.

Section 19. Due Diligence. The City and Owner further agree that they shall commence all reasonable actions necessary to fulfill their obligations hereunder and shall diligently pursue the same throughout the existence of this Agreement. The City shall further provide all other municipal services to the Property as are needed by Owner from time to time in accordance with the City's applicable policies for the provision of said services.

Section 20. Enforcement/Effectiveness. A default by either party under this Agreement shall entitle the other party to all remedies available at law. This is a non-statutory development agreement which is not subject to or enacted pursuant to the provisions of Sections 163.3220 - 163.3243, *Florida Statutes*.

Section 21. Governing Law. This Agreement shall be construed in accordance with the laws of the State of Florida and venue for any action hereunder shall be in the Circuit Court of Lake County, Florida.

Section 22. Binding Effect; Assignability. This Agreement, once effective, shall be binding upon and enforceable by and against the parties hereto and their assigns. This Agreement shall be assignable by the Owner to successive owners. Owner shall, however, provide written notice to the City of any and all such assignees. The rights and obligations set forth in this Agreement shall run with the land and be binding on all successors and/or assignees. Owner consents to the placement of a claim of lien on the Property upon default in payment of any obligation herein without precluding any other remedies of City. The parties hereby covenant that they will enforce this Agreement and that it is a legal, valid, and binding agreement.

Section 23. Waiver; Remedies. No failure or delay on the part of either party in exercising any right, power, or privilege hereunder will operate as a waiver thereof, nor will any waiver on the part of either party or any right, power, or privilege hereunder operate as a waiver of any other right, power, privilege hereunder, nor will any single or partial exercise of any right, power, or privilege hereunder preclude any other further exercise thereof or the exercise of any other right, power, or privilege hereunder.

Section 24. Exhibits. All exhibits attached hereto are hereby incorporated in and made a part of this Agreement as if set forth in full herein.

Section 25. Notice. Any notice to be given shall be in writing and shall be sent by certified mail, return receipt requested, to the party being noticed at the following addresses or such other address as the parties shall provide from time to time:

As to City:	City Manager City of Umatilla P.O. Box 2286 Umatilla, FL 32784-2286 352-669-3125 Telephone
Copy to:	Mayor City of Umatilla P.O. Box 2286 Umatilla, Florida 32784-2286 352-669-3125 Telephone Kevin Stone Stone & Gerken, P.A. 4850 N. Highway 19A Mount Dora, FL 32757 352-357-0330 Telephone

As to Owner:	Colin Johnson 36161 Clear Lake Drive Eustis, FL 32736 407-938-9600 Telephone
Copy to:	Thomas Sullivan Gray/Robinson 301 E. Pine Street, Suite 1400 Orlando, FL 32801 407-843-8880 Telephone

Section 26. Entire Agreement. This Agreement sets forth all of the promises, covenants, agreements, conditions, and understandings between the parties hereto, and supersedes all prior and contemporaneous agreements, understandings, inducements or conditions, express or implied, oral or written, except as herein contained. However, the failure of this Agreement to address a particular permit, condition, term, or restriction shall not relieve Owner from complying with the law governing said permitting requirements, conditions, terms or restrictions.

Section 27. Term of Agreement. The term of this Agreement shall commence on the date this Agreement is executed by both the City and Owner and shall terminate twenty (20) years thereafter; provided, however, that the term of this Agreement may be extended by mutual consent of the City and the Owner, subject to a public hearing.

Section 28. Amendment. Amendments to the provisions of this Agreement shall be made by the parties only in writing by formal amendment.

Section 29. Severability. If any part of this Developer's Agreement is found invalid or unenforceable in any court, such invalidity or unenforceability shall not affect the other parts of this Developer's Agreement, if the rights and obligations of the parties contained herein are not materially prejudiced and if the intentions of the parties can be effected. To that end, this Developer's Agreement is declared severable.

IN WITNESS WHEREOF, the parties have set their hands and seals this ____ day of _____, 2021.

WITNESSES:

CITY OF UMATILLA, FLORIDA

Printed Name: _____

By: Eric Olson Kent Adcock, Mayor

Printed Name: _____

ATTEST:

Gwen Johns, MMC
City Clerk

COLIN JOHNSON

Printed Name: _____

Printed Name: _____

By: _____

Printed Name: _____

As its: _____

[NOTARY BLOCK FOR OWNER EXECUTION]

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NOTICE OF PUBLIC HEARINGS FOR AMENDMENT OF THE PLANNED UNIT DEVELOPMENT (PUD) ZONING

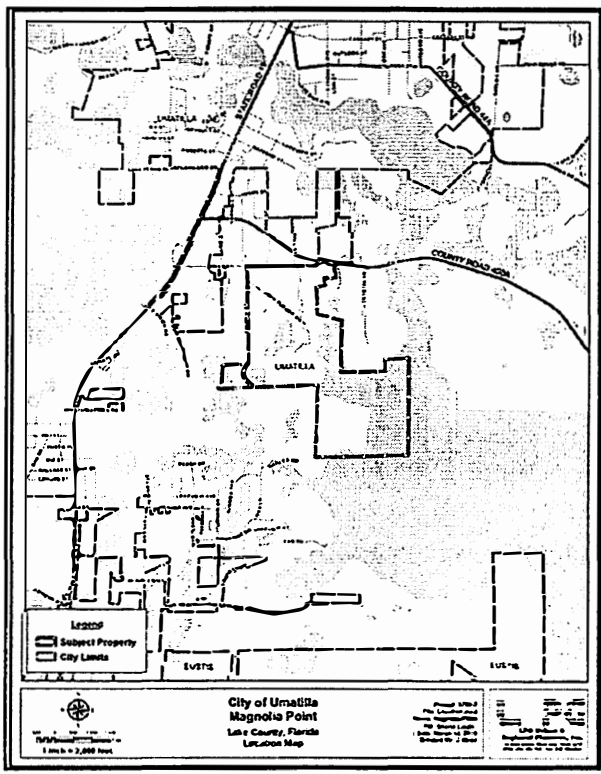
The proposed Ordinance will be considered at public meetings scheduled to be held on August 3, 2021 and August 17, 2021, at 6:00 p.m. in the Umatilla Council Chambers at 1 S. Central Avenue, Umatilla, Florida.

ORDINANCE 2021-F

AN ORDINANCE OF THE CITY OF UMATILLA, COUNTY OF LAKE, STATE OF FLORIDA, MODIFYING THE PLANNED UNIT DEVELOPMENT (PUD) ZONING OF 317± ACRES OF LAND CURRENTLY ZONED PLANNED UNIT DEVELOPMENT (PUD) IN THE CITY OF UMATILLA FOR THE HEREAFTER DESCRIBED PROPERTY OWNED BY COLIN B. JOHNSON LOCATED EAST OF CHURCH STREET AND SOUTH OF MILLS STREET; APPROVING A MASTER DEVELOPER'S AGREEMENT FOR THE PROPERTY; PROVIDING FOR CONDITIONS AND CONTINGENCIES; DIRECTING THE CITY MANAGER TO PROVIDE CERTIFIED COPIES OF THIS ORDINANCE AFTER APPROVAL TO THE CLERK OF THE CIRCUIT COURT, AND THE LAKE COUNTY MANAGER; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

The proposed Ordinance and metes and bounds legal description of the property may be inspected by the public between the hours of 8:00 a.m. to 5:00 p.m. Monday to Friday at the City Clerk's office at City Hall. Persons with disabilities needing assistance to participate in any of these proceedings should contact Gwen Johns, City Clerk, at (352) 669-3125 at least 48 hours before the date for the scheduled hearing.

Interested parties may appear at the meetings and be heard with respect to the proposed Ordinance. A person who decides to appeal any decision made by any board, agency or council with respect to any matter considered at such meeting or hearing, will need a record of the proceedings. For such purposes, any such person may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence which the appeal is based (Florida Statutes 286.0105).



LF-2545 (04/21)

THE UNIVERSITY OF CHICAGO
DEPARTMENT OF CHEMISTRY
RESEARCH REPORT NO. 100
BY
J. H. GOLDSTEIN AND
R. F. W. WILSON

Submitted to the Journal of Chemical Physics
October 10, 1947

Received by the Editor
November 10, 1947

The authors are indebted to the National Science Foundation for the grant of a Fellowship to J. H. Goldstein during the course of which this work was done. The authors also wish to thank Dr. R. F. W. Wilson for his assistance in the early stages of this work.

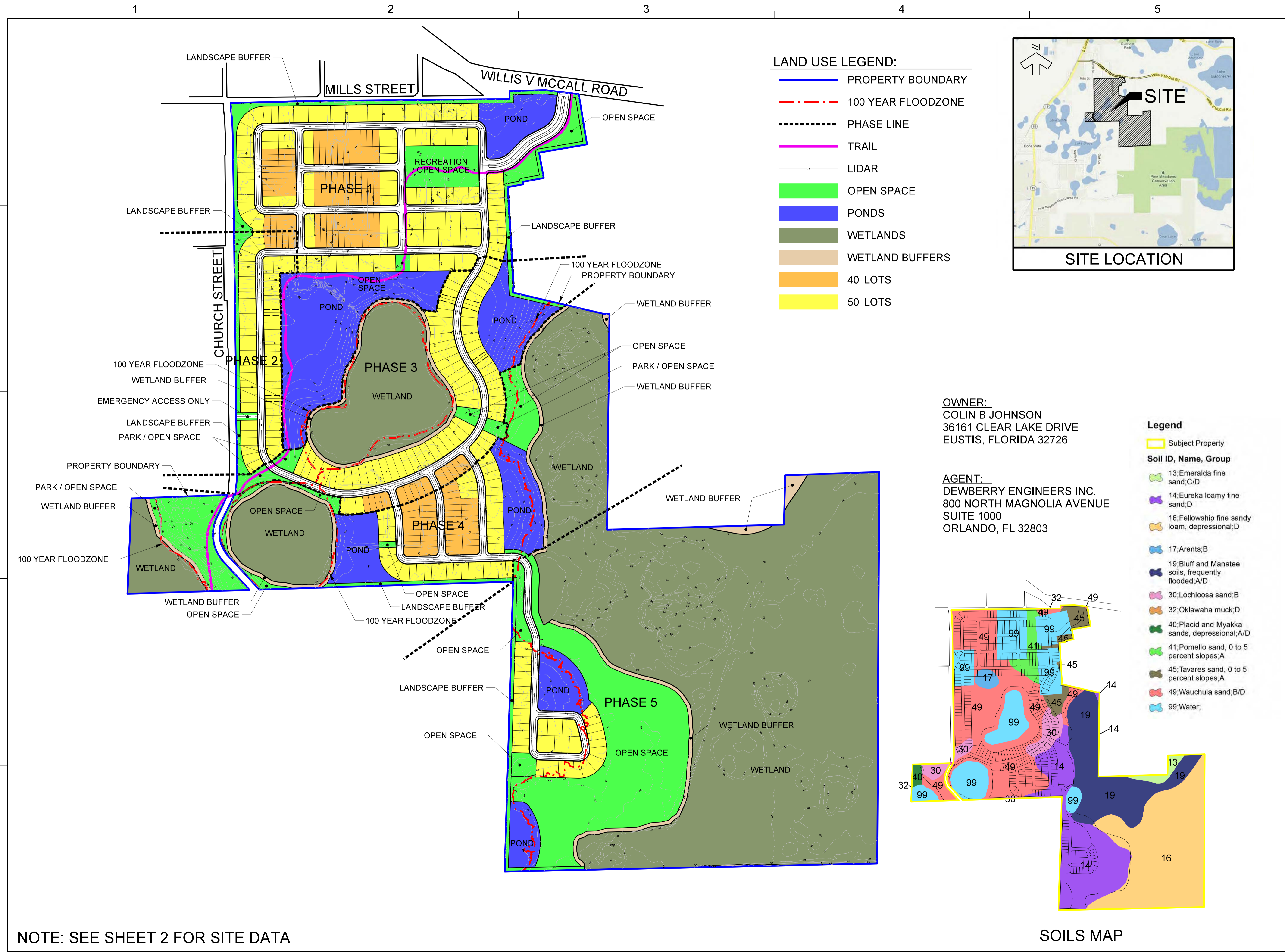
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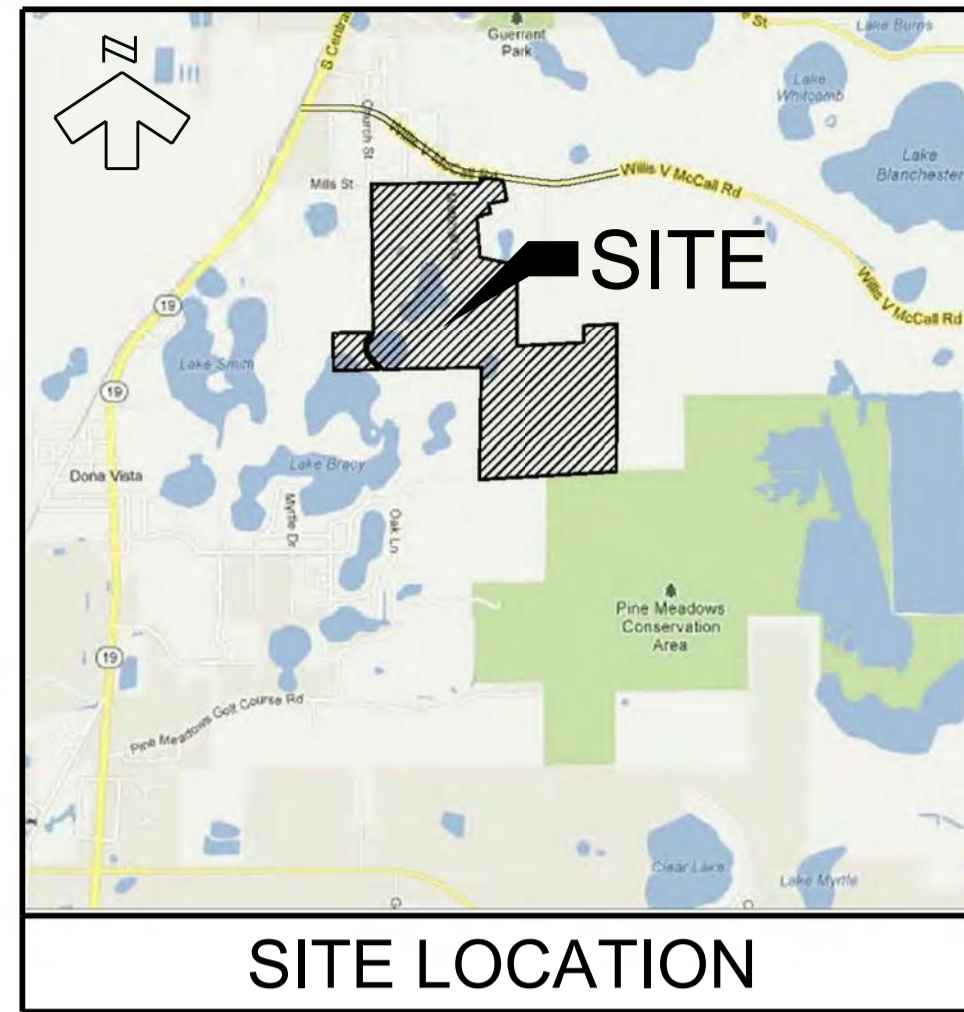
**MAGNOLIA POINTE
PLANNED
DEVELOPMENT**

CITY OF UMATILLA, LAKE COUNTY, FLORIDA



LAND USE LEGEND:

- PROPERTY BOUNDARY
- - - 100 YEAR FLOODZONE
- - - - - PHASE LINE
- TRAIL
- LIDAR
- OPEN SPACE
- PONDS
- WETLANDS
- WETLAND BUFFERS
- 40' LOTS
- 50' LOTS

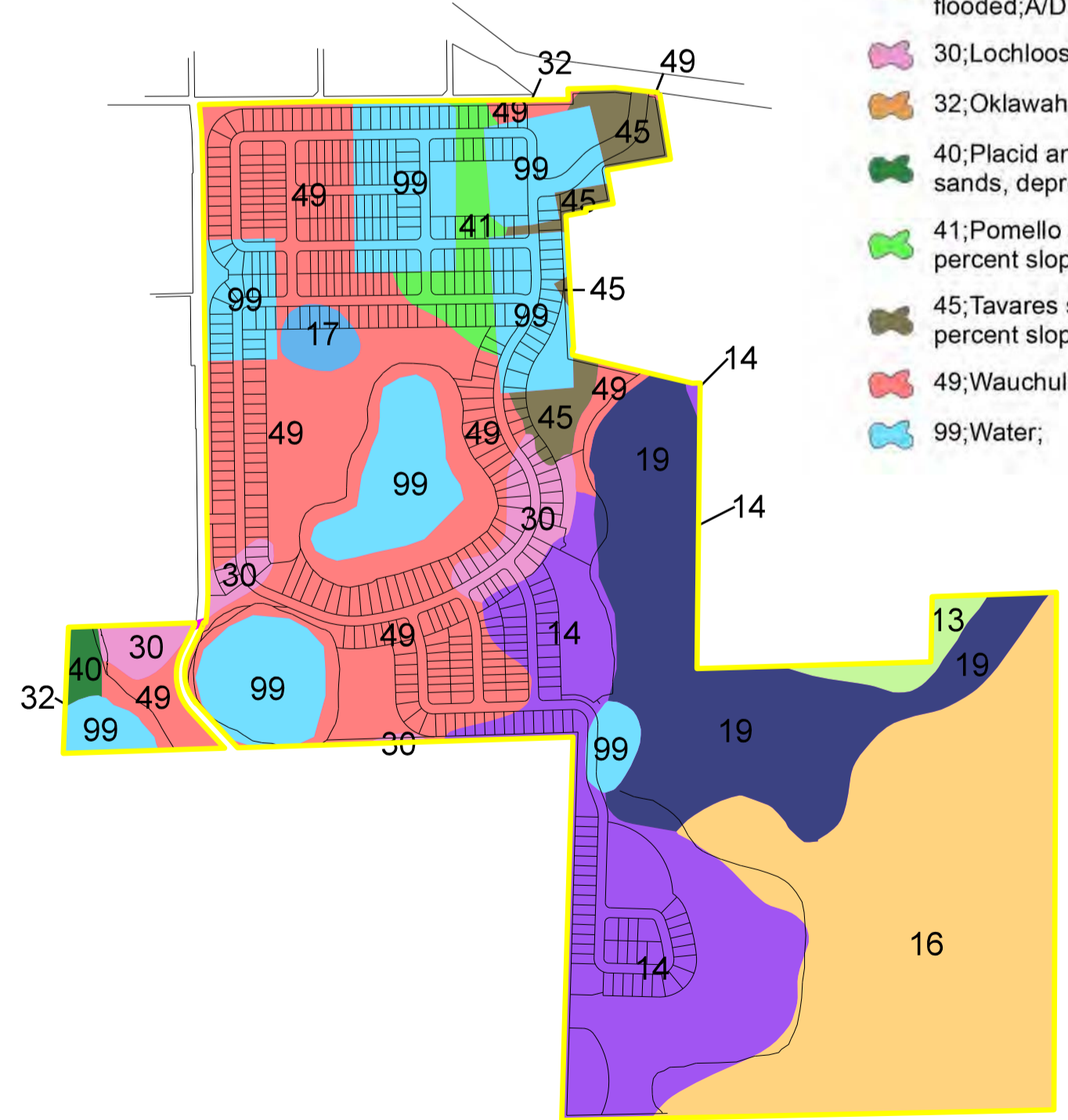


OWNER:
COLIN B JOHNSON
36161 CLEAR LAKE DRIVE
EUSTIS, FLORIDA 32726

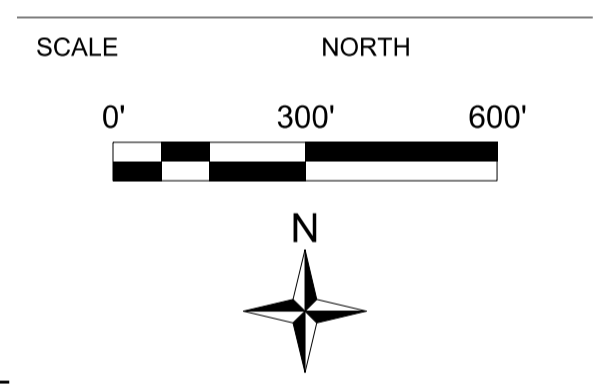
AGENT:
DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVENUE
SUITE 1000
ORLANDO, FL 32803

Legend

- Subject Property
- Soil ID, Name, Group**
- 13; Emerald fine sand; C/D
- 14; Eureka loamy fine sand; D
- 16; Fellowship fine sandy loam, depressional; D
- 17; Arents; B
- 19; Bluff and Manatee soils, frequently flooded; A/D
- 30; Lochloosa sand; B
- 32; Oklawaha muck; D
- 40; Placid and Myakka sands, depressional; A/D
- 41; Pomello sand, 0 to 5 percent slopes; A
- 45; Tavares sand, 0 to 5 percent slopes; A
- 49; Wauchula sand; B/D
- 99; Water;



SOILS MAP



REVISIONS

No.	DATE	BY	Description

PROJECT # 50134782
DRAWN BY SKH/HR
APPROVED BY CJA
CHECKED BY NPS/STM
DATE MARCH 2021

TITLE

CONCEPT PLAN

PROJECT: MAPO_50134782\CAD\Civil\PO\Civil
SHEET NO.

NOTE: SEE SHEET 2 FOR SITE DATA

LEGAL DESCRIPTION:

PARCEL 1: THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT ROAD RIGHT OF WAY PER OFFICIAL RECORDS BOOK 1701, PAGE 810, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
PARCEL 2: THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT ROAD RIGHT OF WAY PER OFFICIAL RECORDS BOOK 1701, PAGE 810, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
PARCEL 3: THE NORTH HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA.
PARCEL 4: LOTS 89, 90, 91, 92, 101, 102, 103, 104, AND 112, OF EUSTIS MEADOWS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK I, PAGE 2, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, LESS AND EXCEPT THAT PORTION OF LOTS 102, 103 AND 112, INCLUDED WITHIN THE PLAT OF CROOKED OAK ESTATES, AS RECORDED IN PLAT BOOK 21, PAGES 19 AND 20, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, AND LESS AND EXCEPT THAT PORTION OF LOT 112 INCLUDED WITHIN THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 2330, PAGE 1303, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
TOGETHER WITH: THAT PART OF LOT 111 OF EUSTIS MEADOWS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 2, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF SAID LOT 111, OF SAID EUSTIS MEADOWS SUBDIVISION AND RUN SOUTH 00 DEGREES 50 MINUTES 17 SECONDS EAST ALONG THE WEST LINE OF SAID LOT 111 A DISTANCE OF 202.10 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTH 87 DEGREES 15 MINUTES 53 SECONDS EAST TO A POINT ON THE EAST LINE OF SAID LOT 111; THENCE RUN SOUTH 00 DEGREES 27 MINUTES 30 SECONDS EAST ALONG THE EAST LINE OF SAID LOT 111 TO THE SOUTHEAST CORNER OF SAID LOT 111; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 111 TO THE SOUTHWEST CORNER OF SAID LOT 111; THENCE RUN NORTH 00 DEGREES 50 MINUTES 17 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 111 TO THE POINT OF BEGINNING.
PARCEL 5: THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA.
PARCEL 6: THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA.
PARCEL 7: THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT ROAD RIGHT OF WAY PER OFFICIAL RECORDS BOOK 1701, PAGE 806, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
PARCEL 8: THE EAST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT ROAD RIGHT OF WAY PER OFFICIAL RECORDS BOOK 1701, PAGE 804, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
PARCEL 9: THE NORTH 648 FEET OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER AND THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT ROAD RIGHT OF WAY PER OFFICIAL RECORDS BOOK 1701, PAGE 808, AND OFFICIAL RECORDS BOOK 1701, PAGE 1 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
TOGETHER WITH: THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA, LYING SOUTH OF THE SOUTH LINE OF THE NORTH 648 FEET THEREOF.
PARCEL 10: THAT PORTION OF THE SOUTH HALF OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA, AND RUN THENCE NORTH 88 DEGREES 34 MINUTES 13 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER A DISTANCE OF 182.66 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF COUNTY ROAD 450A, SAID RIGHT OF WAY BEING A 100.00 FEET IN WIDTH; THENCE RUN SOUTH 82 DEGREES 33 MINUTES 10 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID COUNTY ROAD 450A A DISTANCE OF 229.10 FEET; THENCE LEAVING SAID SOUTHERLY RIGHT OF WAY LINE RUN SOUTH 10 DEGREES 25 MINUTES 52 SECONDS EAST 360.14 FEET; THENCE SOUTH 79 DEGREES 08 MINUTES 39 SECONDS WEST 328.58 FEET; THENCE SOUTH 11 DEGREES 34 MINUTES 02 SECONDS EAST 174.00 FEET; THENCE SOUTH 78 DEGREES 27 MINUTES 55 SECONDS WEST 144.00 FEET; THENCE SOUTH 11 DEGREES 33 MINUTES 21 SECONDS EAST 17.00 FEET; THENCE SOUTH 78 DEGREES 28 MINUTES 02 SECONDS WEST 40.56 FEET TO A POINT ON THE WEST LINE OF THE SOUTHEAST QUARTER OF THE FOREMENTIONED SECTION 24; THENCE NORTH 00 DEGREES 50 MINUTES 17 SECONDS WEST ALONG THE WEST LINE OF THE SOUTHEAST QUARTER A DISTANCE OF 665.30 FEET TO THE POINT OF BEGINNING.
PARCEL 11: THAT PORTION OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA, AND RUN SOUTH 00 DEGREES 50 MINUTES 17 SECONDS EAST ALONG THE WEST LINE OF THE SOUTHEAST QUARTER A DISTANCE OF 665.30 FEET; THENCE SOUTH 78 DEGREES 28 MINUTES 02 SECONDS WEST 45.58 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 78 DEGREES 28 MINUTES 02 SECONDS WEST 19.36 FEET; THENCE SOUTH 04 DEGREES 24 MINUTES 09 SECONDS EAST 713.84 FEET; THENCE SOUTH 77 DEGREES 51 MINUTES 48 SECONDS EAST 621.55 FEET; THENCE SOUTH 87 DEGREES 15 MINUTES 33 SECONDS WEST 586.59 FEET TO A POINT ON THE WEST LINE OF THE SOUTHEAST QUARTER OF THE FOREMENTIONED SECTION 24; THENCE SOUTH 00 DEGREES 50 MINUTES 17 SECONDS EAST ALONG THE WEST LINE OF THE SOUTHEAST QUARTER A DISTANCE OF 471.24 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24; THENCE SOUTH 88 DEGREES 43 MINUTES 44 SECONDS WEST ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24 A DISTANCE OF 661.56 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24; THENCE NORTH 00 DEGREES 47 MINUTES 47 SECONDS WEST ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER A DISTANCE OF 672.74 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24; THENCE NORTH 00 DEGREES 47 MINUTES 49 SECONDS WEST ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24; THENCE NORTH 88 DEGREES 37 MINUTES 25 SECONDS EAST 615.83 FEET TO THE POINT OF BEGINNING.

ALL THE ABOVE PARCEL 1 THROUGH PARCEL 11 BEING MORE PARTICULARLY DESCRIBED WITHOUT GORES OR OVERLAPS AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA AND RUN THENCE NORTH 88 DEGREES 31 MINUTES 02 SECONDS EAST ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER A DISTANCE OF 182.67 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF COUNTY ROAD 450A; THENCE RUN SOUTH 82 DEGREES 35 MINUTES 20 SECONDS EAST 229.305 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 2330, PAGE 1303, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE RUN ALONG THE WESTERLY LINE OF SAID PARCEL THE FOLLOWING NINE COURSES AND DISTANCES: THENCE RUN SOUTH 10 DEGREES 29 MINUTES 22 SECONDS EAST 360.07 FEET; THENCE SOUTH 79 DEGREES 04 MINUTES 59 SECONDS WEST 328.62 FEET; THENCE SOUTH 11 DEGREES 38 MINUTES 10 SECONDS EAST 173.90 FEET; THENCE SOUTH 78 DEGREES 23 MINUTES 20 SECONDS WEST 144.015 FEET; THENCE SOUTH 11 DEGREES 27 MINUTES 16 SECONDS EAST 16.91 FEET; THENCE SOUTH 78 DEGREES 27 MINUTES 50 SECONDS WEST 110.54 FEET; THENCE SOUTH 04 DEGREES 28 MINUTES 59 SECONDS EAST 713.90 FEET; THENCE SOUTH 77 DEGREES 53 MINUTES 54 SECONDS EAST 620.65 FEET; THENCE NORTH 87 DEGREES 02 MINUTES 23 SECONDS EAST 40.20 FEET TO THE EAST LINE OF THE WEST 15 FEET OF LOT 112, EUSTIS MEADOWS SUBDIVISION, AS RECORDED IN PLAT BOOK 1, PAGE 2, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, AND TO THE WEST LINE OF CROOKED OAK ESTATES, AS RECORDED IN PLAT BOOK 21, PAGES 19 AND 20, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE RUN SOUTH 00 DEGREES 35 MINUTES 51 SECONDS EAST ALONG SAID LINE 1460.15 FEET TO THE SOUTHWEST CORNER OF SAID CROOKED OAK ESTATES; THENCE RUN NORTH 87 DEGREES 02 MINUTES 55 SECONDS EAST ALONG THE SOUTH LINE OF SAID CROOKED OAK ESTATES 1196.54 FEET TO THE EAST LINE OF SAID CROOKED OAK ESTATES; THENCE RUN NORTH 00 DEGREES 04 MINUTES 19 SECONDS WEST ALONG SAID EAST LINE 314.62 FEET TO THE NORTH LINE OF LOT 104, OF FOREMENTIONED EUSTIS MEADOWS SUBDIVISION; THENCE RUN NORTH 87 DEGREES 08 MINUTES 40 SECONDS EAST ALONG SAID NORTH LINE 805.12 FEET TO THE NORTHEAST CORNER OF SAID LOT 104; THENCE RUN SOUTH 00 DEGREES 21 MINUTES 47 SECONDS WEST ALONG THE EAST LINE OF SAID LOT 104 AND THE EAST LINE OF LOT 92 OF SAID EUSTIS MEADOWS SUBDIVISION A DISTANCE OF 2635.48 FEET TO THE SOUTHEAST CORNER OF SAID LOT 92; THENCE RUN SOUTH 88 DEGREES 46 MINUTES 25 SECONDS WEST ALONG THE SOUTH LINE OF SAID LOT 92 AND THE SOUTH LINE OF LOTS 89, 90 AND 91 OF SAID EUSTIS MEADOWS SUBDIVISION A DISTANCE OF 2461.72 FEET TO THE SOUTHWEST CORNER OF SAID LOT 89; THENCE RUN NORTH 01 DEGREES 04 MINUTES 04 SECONDS EAST ALONG THE WEST LINE OF SAID LOT 89 AND LOT 101 OF SAID EUSTIS MEADOWS SUBDIVISION A DISTANCE OF 1990.08 FEET TO THE SOUTH LINE OF THE NORTH QUARTER OF THE SOUTHWEST QUARTER OF FOREMENTIONED SECTION 24; THENCE RUN SOUTH 88 DEGREES 47 MINUTES 32 SECONDS WEST ALONG SAID SOUTH LINE A DISTANCE OF 1752.76 FEET TO A POINT "A" ON THE EASTERLY RIGHT OF WAY LINE OF CHURCH STREET AS DESCRIBED IN THAT CERTAIN STATUTORY WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1701, PAGE 810, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE RUN NORTH 41 DEGREES 59 MINUTES 53 SECONDS WEST ALONG SAID EASTERLY RIGHT OF WAY LINE A DISTANCE OF 318.65 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 225.00 FEET AND A CENTRAL ANGLE 68 DEGREES 33 MINUTES 28 SECONDS; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 269.23 FEET TO THE POINT OF TANGENCY; THENCE RUN NORTH 26 DEGREES 33 MINUTES 35 SECONDS EAST ALONG SAID RIGHT 135.70 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 275.00 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 51.34 FEET THROUGH A CENTRAL ANGLE OF 10 DEGREES 41 MINUTES 51 SECONDS TO A CUSP OF SAID CURVE AT THE SOUTHEAST CORNER OF THE WEST 50.00 FEET OF THE EAST HALF OF THE WEST HALF OF THE SOUTHWEST QUARTER OF AFORESAID SECTION 24; THENCE RUN NORTH 00 DEGREES 45 MINUTES 57 SECONDS WEST ALONG AFORESAID EASTERLY RIGHT OF WAY OF LINE A DISTANCE OF 2644.05 FEET TO THE SOUTH RIGHT OF LINE OF MILLS STREET BASED ON THE HISTORICALLY PLATTED SUBDIVISION LYING NORTH OF SAID STREET AND RECOVERED MONUMENTATION IN THE CENTERLINE OF SAID STREET; THENCE RUN NORTH 89 DEGREES 16 MINUTES 47 SECONDS EAST ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 1930.20 FEET TO THE WEST LINE OF THE EAST HALF OF SAID SECTION 24; THENCE RUN NORTH 00 DEGREES 52 MINUTES 26 SECONDS WEST ALONG SAID LINE 67.60 FEET TO THE POINT OF BEGINNING; TOGETHER 11TH: COMMENCING AT THE ABOVE MENTIONED POINT "A" AND RUN THENCE SOUTH 88 DEGREES 47 MINUTES 32 SECONDS WEST ALONG AFORESAID SOUTH LINE OF THE NORTH QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24 A DISTANCE OF 66.04 FEET TO THE POINT OF BEGINNING "A" ON THE WESTERLY RIGHT OF WAY LINE OF CHURCH STREET AS DESCRIBED IN THAT CERTAIN STATUTORY WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1701, PAGE 810, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE CONTINUE SOUTH 88 DEGREES 47 MINUTES 32 SECONDS WEST ALONG AFORESAID SOUTH LINE A DISTANCE OF 805.35 FEET TO THE WEST LINE OF SECTION 25, TOWNSHIP 18 SOUTH, RANGE 26 EAST; THENCE RUN NORTH 00 DEGREES 43 MINUTES 47 SECONDS WEST ALONG SAID WEST LINE A DISTANCE OF 660.00 FEET TO A RECOVERED 6 INCH BY 6 INCH CONCRETE MONUMENT AT THE NORTHWEST CORNER OF SAID SECTION 25; THENCE RUN NORTH 88 DEGREES 44 MINUTES 50 SECONDS EAST ALONG THE NORTH LINE OF SAID SECTION 25 A DISTANCE OF 658.86 FEET TO A CUSP OF A CURVE SITUATED ON THE AFORESAID WESTERLY RIGHT OF WAY LINE OF CHURCH STREET; THENCE RUN SOUTHERLY ALONG SAID RIGHT OF WAY LINE THROUGH THE FOLLOWING FOUR COURSES AND DISTANCES: THENCE FROM SAID CUSP OF A CURVE BEING CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 225.00 FEET AND FROM A TANGENT BEARING OF SOUTH 19 DEGREES 49 MINUTES 47 SECONDS WEST, RUN SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 26.44 FEET THROUGH A CENTRAL ANGLE OF 06 DEGREES 43 MINUTES 54 SECONDS TO THE POINT OF TANGENCY; THENCE RUN SOUTH 26 DEGREES 33 MINUTES 35 SECONDS WEST 135.70 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 275 FEET AND A CENTRAL ANGLE OF 68 DEGREES 33 MINUTES 28 SECONDS; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 329.05 FEET TO THE POINT OF TANGENCY; THENCE RUN SOUTH 41 DEGREES 59 MINUTES 53 SECONDS EAST 275.51 FEET TO THE POINT OF BEGINNING "A".

NOTES:

TOTAL ACREAGE: 314.67+/-
TOTAL DEVELOPABLE ACREAGE: 177.91+/-
TOTAL OPEN SPACE REQUIRED: 44.48+/- ACRES(25.0%)
TOTAL PARK / RECREATION SPACE PROVIDED: 52.57+/- ACRES UPLAND OPEN SPACE (29.5%)
MAIN AMENITY SPACE PROVIDED: 3.24+/- ACRES
ZONING OF PARCEL: UMATILLA PUD

314.67+/-
177.91+/-
44.48+/- ACRES(25.0%)
52.57+/- ACRES UPLAND OPEN SPACE (29.5%)
3.24+/- ACRES
UMATILLA PUD

ADJACENT ZONING:

NORTH - COUNTY R-7/CITY PUD
SOUTH - R-6/A
EAST - AR/A
WEST - R-6/R-1

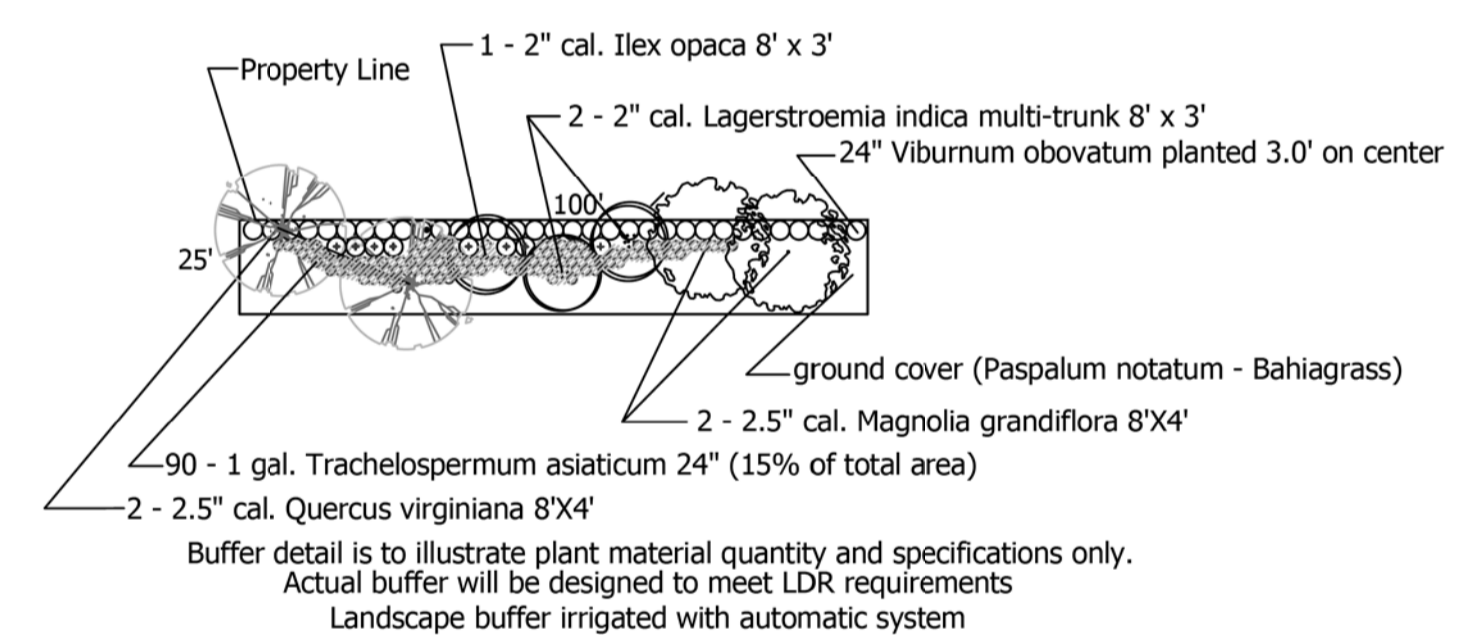
FUTURE LAND USE:
PROPOSED LAND USE:
PROPOSED GROSS DENSITY:
100 YEAR FLOODZONE:
WETLAND/OPEN WATER:

SF LOW DENSITY (3DU/AC)
477 LOT SF RESIDENTIAL SUBDIVISION WITH AMENITY
2.68 DU/AC
AS SHOWN ON PLAN
138.77 ACRES

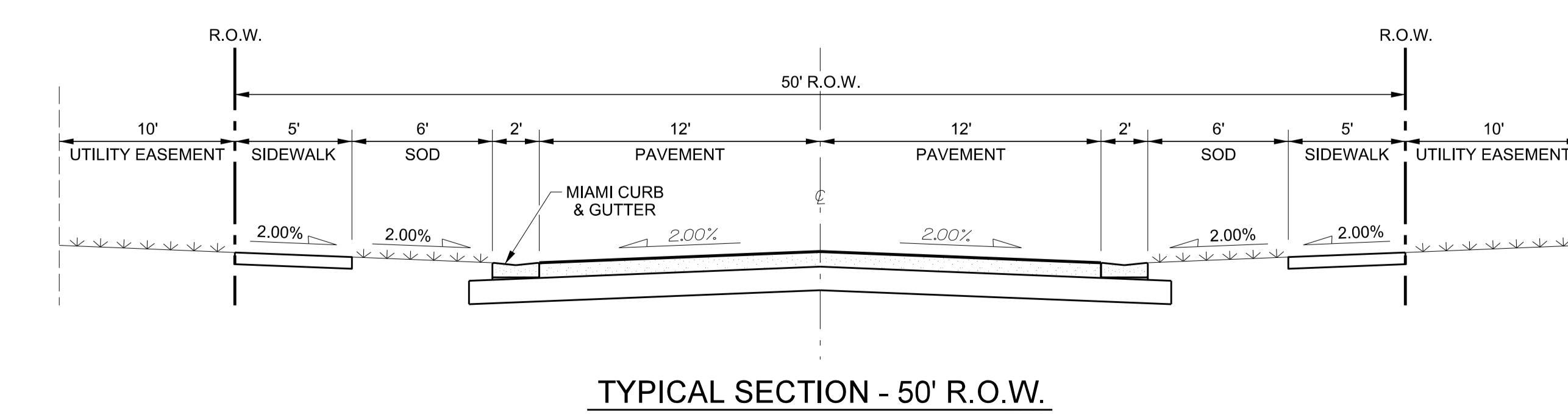
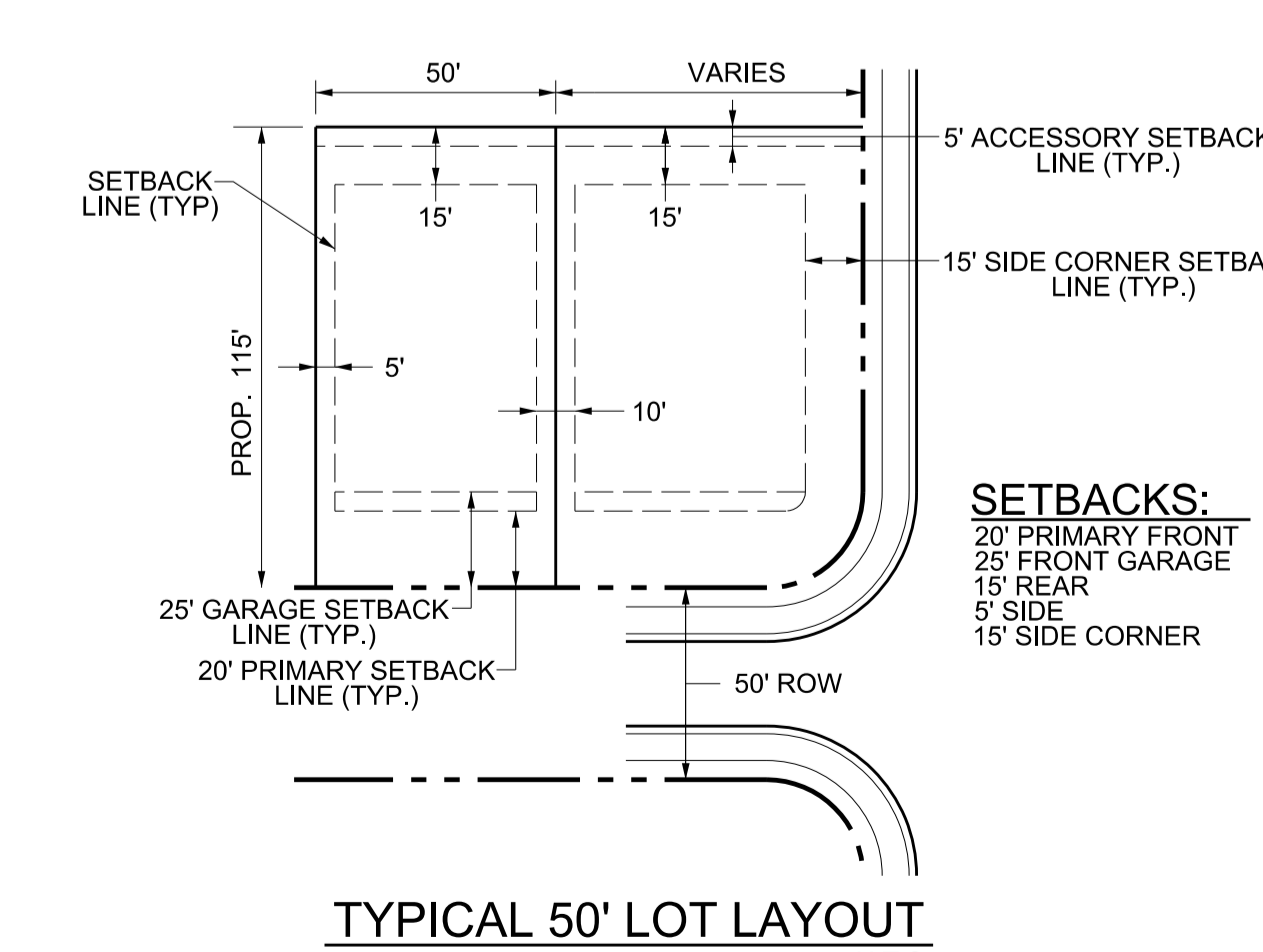
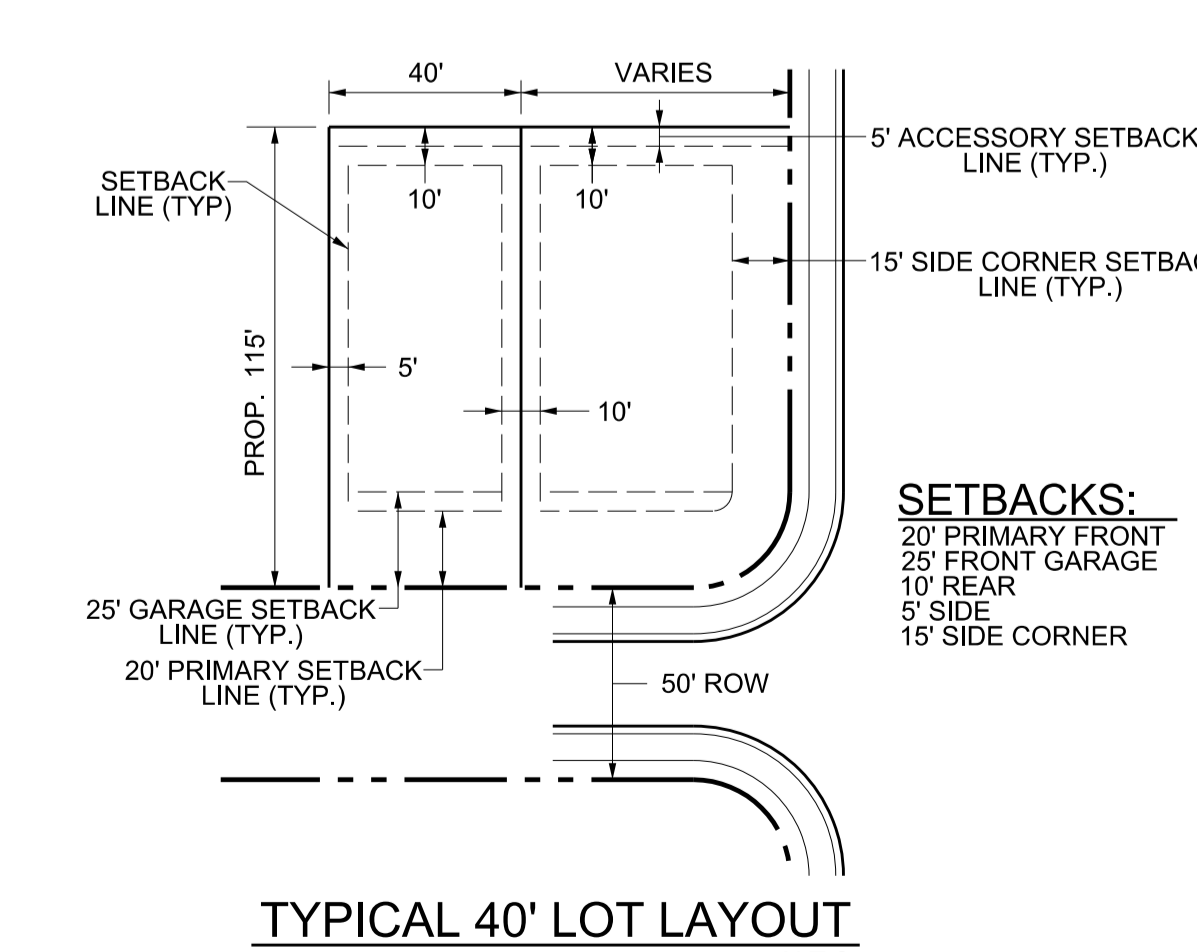
NOTES:

- MAXIMUM ALLOWABLE BUILDING HEIGHT 35'
40' LOTS - 143 (30.0%) MIN NET LIVING AREA OF BUILDING = 1,230 SQFT
50' LOTS - 334 (70.0%) MIN NET LIVING AREA OF BUILDING = 1,400 SQFT
BUILDING SET BACKS AS NOTED IN TYPICAL LOT DIAGRAMS
SETBACKS BETWEEN STRUCTURES - MINIMUM 10'
BUFFERS
NORTH - 25'
SOUTH - 25'
EAST - 25'
WEST - 25'
UPLAND BUFFER AROUND WETLANDS - 25'
POLICE AND FIRE PROTECTION WILL BE PROVIDED BY CITY OF UMITILLA
WATER AND SEWER PROVIDED BY CITY OF UMITILLA
STORMWATER MANAGEMENT BY WET AND DRY PONDS
PROJECT TO BE CONSTRUCTED IN 5 PHASES

Table with 4 columns: PHASE, 40', 50', TOTAL. Rows include PHASE 1, PHASE 2, PHASE 3, PHASE 4, PHASE 5, and TOTALS.



100' SECTION OF TYPICAL 25' WIDE ROAD FRONTAGE LANDSCAPE BUFFER N.T.S.



TYPICAL SECTION - 50' R.O.W. N.T.S.



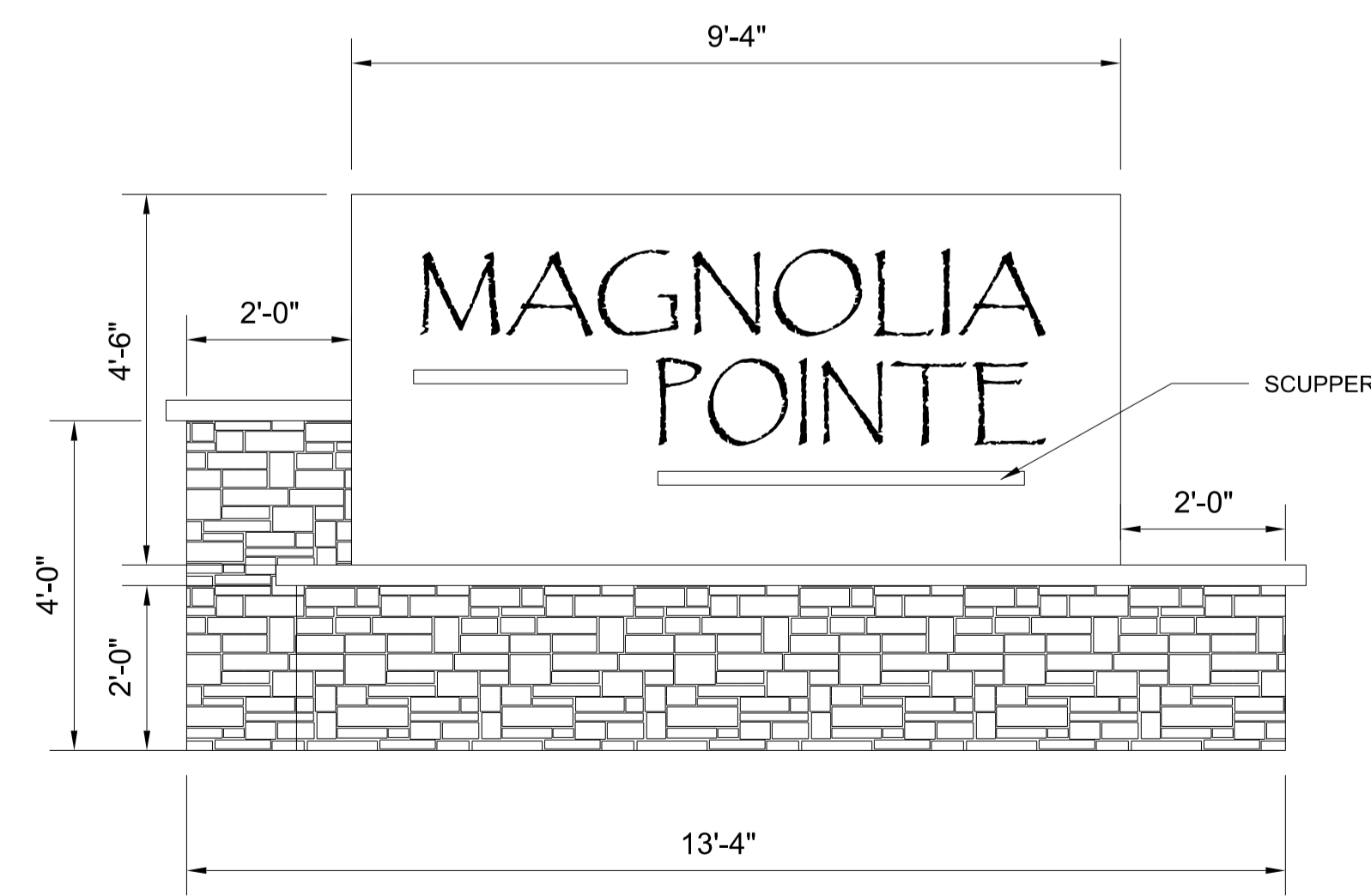
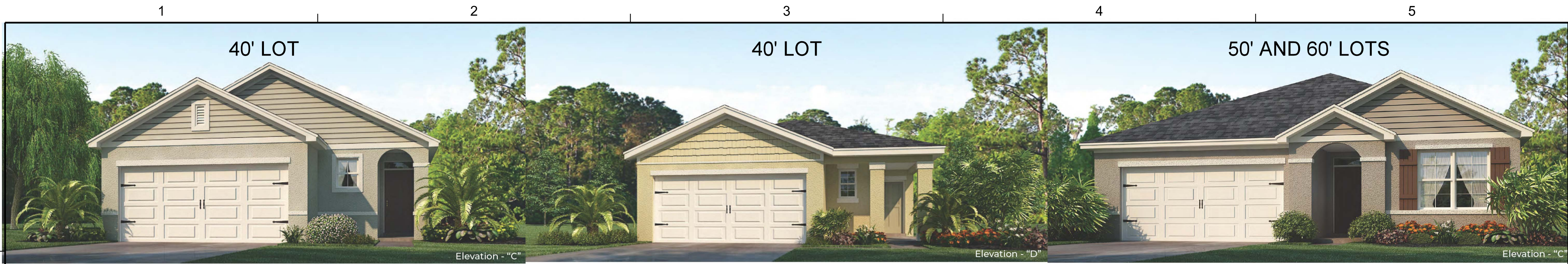
MAGNOLIA POINTE
PLANNED DEVELOPMENT
CITY OF UMATILLA, LAKE COUNTY, FLORIDA

Table for REVISIONS with columns for No., DATE, BY, and Description.

Table for PROJECT #, DRAWN BY, APPROVED BY, CHECKED BY, and DATE.

TITLE

SITE DATA
PROJECT: MAPO_50134782\CAD\Civil\PD\Civil\MAPO1.PD
SHEET NO.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS -8794

**MAGNOLIA POINTE
PLANNED
DEVELOPMENT**

CITY OF UMATILLA, LAKE COUNTY, FLORIDA

SCALE NORTH

REVISIONS			
No.	DATE	BY	Description

PROJECT # 50134782
DRAWN BY SKH/HR
APPROVED BY CJA
CHECKED BY NPS/STM
DATE MARCH 2021

TITLE

PRODUCT DATA

PROJECT: MAPO_50134782\CAD\Civil\PD\Civil\MAPO1_PD_ProductData.dgn
SHEET NO.

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3 **ORDINANCE 2021-F**

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4 AN ORDINANCE OF THE CITY OF UMATILLA, COUNTY OF LAKE, STATE OF FLORIDA,
5 MODIFYING THE PLANNED UNIT DEVELOPMENT (PUD) ZONING OF 317± ACRES OF
6 LAND CURRENTLY ZONED PLANNED UNIT DEVELOPMENT (PUD) IN THE CITY OF
7 UMATILLA FOR THE HEREAFTER DESCRIBED PROPERTY OWNED BY COLIN B.
8 JOHNSON LOCATED EAST OF CHURCH STREET AND SOUTH OF MILLS STREET;
9 APPROVING A MASTER DEVELOPER'S AGREEMENT FOR THE PROPERTY; PROVIDING
10 FOR CONDITIONS AND CONTINGENCIES; DIRECTING THE CITY MANAGER TO
11 PROVIDE CERTIFIED COPIES OF THIS ORDINANCE AFTER APPROVAL TO THE CLERK
12 OF THE CIRCUIT COURT, AND THE LAKE COUNTY MANAGER; PROVIDING FOR
13 SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

14 **WHEREAS**, a petition has been submitted by Colin Johnson as Owner, to rezone approximately
15 317 acres of land by updating a Planned Unit Development (PUD);

16 **WHEREAS**, the Petition bears the signature of all required parties; and

17 **WHEREAS**, the required notice of the proposed rezoning has been properly published;

18 **WHEREAS**, the City Council reviewed said petition, the recommendations of staff ~~report~~ and
19 any comments, favorable or unfavorable, from the public and surrounding property owners at a public
20 hearing duly advertised;

21 **WHEREAS**, upon review, certain terms pertaining to the development of the above ~~described~~
22 property have been duly approved ~~and~~

23 **NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Umatilla, Florida,
24 as follows:

25 **Section 1: Purpose and Intent.**

26 That the zoning classification of the following described property, being situated in the City of Umatilla,
27 Florida, shall hereafter be designated as PUD, Planned Unit Development, as defined in the Umatilla
28 Land Development Regulations. The property is more particularly described and depicted as set forth on
29 Exhibit "A" and as depicted on the map attached hereto as Exhibit "B" and incorporated herein by
30 reference.

31 **LEGAL DESCRIPTION:** See Exhibit "A"

32 **Section 2: Zoning Classification.**

33 That the property shall remain designated as within the PUD, Planned Unit Development District, in
34 accordance with Chapter 6, Section 2(k) of the Land Development Regulations of the City of Umatilla,
35 Florida. The property rezoned pursuant to this section shall be subject to the Umatilla Land Development
36 Regulations pertaining to properties within the Planned Unit Development District and shall be developed
37 according to the Master Developer's Agreement attached hereto as Exhibit "C".

38 **Section 3: Severability.**

39 If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void,
40 unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall
41 remain in full force and effect.

42 **Section 4: Contingency; Effective Date.**

43 This ordinance shall become effective immediately upon passage by the City Council of the City of
44 Umatilla.

45 **PASSED AND ORDAINED** in regular session of the City Council of the City of Umatilla, Lake County,
46 Florida, this 17th day of August, 2021.

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Kent Adcock, Mayor
City of Umatilla, Florida

ATTEST:

Gwen Johns
City Clerk

Approved as to Form:

Kevin Stone
City Attorney

Passed First Reading 07/20/2021
Passed Second Reading

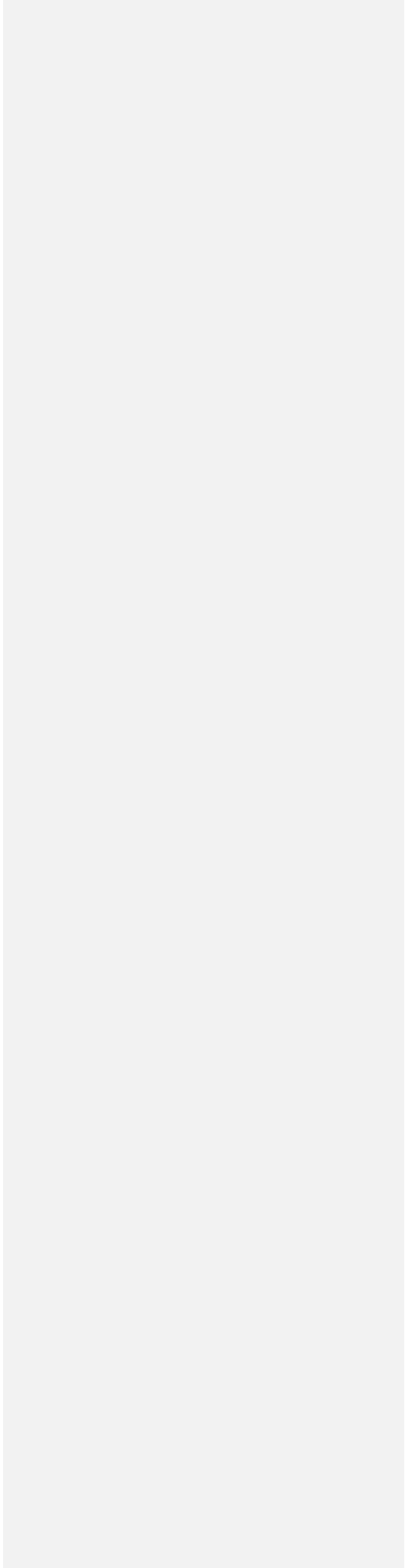
~~08/17/2021~~

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(SEAL)

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**EXHIBIT A
LEGAL DESCRIPTION**



**CITY OF UMATILLA
AGENDA ITEM STAFF REPORT**

DATE: August 10, 2021

MEETING DATE: August 17, 2021

SUBJECT: Private Property Rights

ISSUE: Create New Comprehensive Plan Property Rights Element

BACKGROUND SUMMARY:

House Bill 59, which became law on June 29, 2021, adds Section 163.3177(6)(i), Florida Statutes. Effective July 1, 2021, each local government is required to adopt a property rights element into its comprehensive plan. This new element must be adopted by the earlier of the date of its adoption of its next proposed plan amendment, or the date of the next scheduled evaluation and appraisal of its comprehensive plan pursuant to Section 163.3191, Florida Statutes. For the City of Umatilla this must be the adoption of the next proposed Plan amendment which is scheduled for August 3, 2021 transmittal hearing.

Any proposed comprehensive plan amendment package submitted after July 1, 2021, will be returned to the local government if the package does not include a property rights element or comprehensive plan does not already include the required property rights element.

STAFF RECOMMENDATIONS: Approval

FISCAL IMPACTS:

COUNCIL ACTION:

Reviewed by City Attorney	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	vN/A
Reviewed by City Engineer	<input type="checkbox"/> Yes	<input type="checkbox"/> No	vN/A

NOTICE OF PUBLIC HEARINGS

ORDINANCE 2021-G

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF UMATILLA, LAKE COUNTY, STATE OF FLORIDA, PURSUANT TO THE PROVISIONS OF FLORIDA STATUTE 163.3184; AMENDING THE CITY'S COMPREHENSIVE PLAN; ADDING AND ADOPTING A PRIVATE PROPERTY RIGHTS ELEMENT; DIRECTING THE CITY CLERK TO PROVIDE CERTIFIED COPIES OF THIS ORDINANCE AFTER APPROVAL TO THE FLORIDA DEPARTMENT OF ECONOMIC OPPORTUNITY AND REVIEWING AGENCIES PURSUANT TO CHAPTER 163, FLORIDA STATUTES; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

The proposed Ordinance will be considered at the following public meetings:

Umatilla Land Planning Agency Meeting on August 17, 2021 at 5:50 p.m.

Umatilla City Council Meeting on August 17, 2021 at 6:00 p.m.

All meetings will be held at the City Council Chambers, 1 S. Central Ave., Umatilla, Florida. The proposed Ordinance may be inspected by the public between the hours of 8:00 a.m. to 5:00 p.m. Monday to Friday at the City Clerk's office at City Hall. For further information call (352) 669-3125.

Interested parties may appear at the meetings and be heard with respect to the proposed Ordinance.

A person who decides to appeal any decision made by any board, agency or commission with respect to any matter considered at such meeting or hearing, will need a record of the proceedings. For such purposes, any such person may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence which the appeal is based (Florida Statutes 286.0105).

CHAPTER 11
PRIVATE PROPERTY RIGHTS ELEMENT
GOALS, OBJECTIVES, AND POLICIES

GOAL 11-1: Private Property Rights. The City of Umatilla hereby establishes a private property statement of rights.

OBJECTIVE 11.1: Local Decision Making. To ensure that private property rights are considered in local decision making, complying with Section 163.3167(6)(i), Florida Statutes.

Policy 11.1.1: Property Owner Rights. The City will consider the right of a property owner to physically possess and control his or her interests in the property, including easements, leases, or mineral rights.

Policy 11.1.2: Consistency with Local Ordinances. The City will consider the right of a property owner to use, maintain, develop, and improve his or her property for personal use or for the use of any other person, subject to state law and local ordinances including but not limited to the City of Umatilla Comprehensive Plan and Land Development Code.

Policy 9.1.3: Property Owner Privacy. The City will consider the right of the property owner to privacy and to exclude others from the property to protect the owner's possessions and property in accordance with Florida law.

Policy 9.1.4: Disposal of Property. The City will consider the right of a property owner to dispose of his or her property through sale or gift.

1
2 **ORDINANCE 2021-G**
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4 **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF UMATILLA, LAKE**
5 **COUNTY, STATE OF FLORIDA, PURSUANT TO THE PROVISIONS OF FLORIDA**
6 **STATUTE 163.3184; AMENDING THE CITY’S COMPREHENSIVE PLAN; ADDING**
7 **AND ADOPTING A PRIVATE PROPERTY RIGHTS ELEMENT; DIRECTING THE**
8 **CITY CLERK TO PROVIDE CERTIFIED COPIES OF THIS ORDINANCE AFTER**
9 **APPROVAL TO THE FLORIDA DEPARTMENT OF ECONOMIC OPPORTUNITY**
10 **AND REVIEWING AGENCIES PURSUANT TO CHAPTER 163, FLORIDA STATUTES;**
11 **PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR**
12 **AN EFFECTIVE DATE.**

13
14 **WHEREAS**, the City of Umatilla, Florida on January 21, 1992, by Ordinance No 1992-A, adopted
15 a Comprehensive Plan which incorporated a Future Land Use Element setting forth the goals,
16 objectives, and policies to guide and direct future development and growth; and
17

18 **WHEREAS**, the City of Umatilla, Florida on July 15, 2014, by Ordinance No 2013-S, adopted a
19 new Comprehensive Plan to govern land use and development through the year 2035;
20

21 **WHEREAS**, the City Council has determined that it is in the best interest of the health, safety and
22 welfare of the citizens of the City of Umatilla to adopt a new element to the Comprehensive Plan
23 to ensure that private property rights are considered in local decision making;
24

25 **THEREFORE BE IT ORDAINED BY THE** City Council of the City of Umatilla, Florida, as
26 follows:
27

28 **SECTION 1.** The adopted local Comprehensive Plan for the City of Umatilla, Florida, is hereby
29 amended to add Chapter 11, Private Property Rights Element, as follows:
30

31 **CHAPTER 11**
32 **PRIVATE PROPERTY RIGHTS ELEMENT**
33 **GOALS, OBJECTIVES, AND POLICIES**
34

35 **GOAL 11-1: Private Property Rights.** The City of Umatilla hereby establishes a private
36 property statement of rights.
37

38 **OBJECTIVE 11.1: Local Decision Making.** To ensure that private property rights are considered
39 in local decision making, complying with Section 163.3167(6)(i), Florida
40 Statutes.
41

42 **Policy 11.1.1: Property Owner Rights.** The City will consider the right of a property owner to
43 physically possess and control his or her interests in the property, including
44 easements, leases, or mineral rights.
45

46 Policy 11.1.2: **Consistency with Local Ordinances.** The City will consider the right of a
47 property owner to use, maintain, develop, and improve his or her property
48 for personal use or for the use of any other person, subject to state law and
49 local ordinances including but not limited to the City of Umatilla
50 Comprehensive Plan and Land Development Code.

51
52 Policy 9.1.3: **Property Owner Privacy.** The City will consider the right of the property owner
53 to privacy and to exclude others from the property to protect the owner's
54 possessions and property in accordance with Florida law.

55
56 Policy 9.1.4: **Disposal of Property.** The City will consider the right of a property owner to
57 dispose of his or her property through sale or gift.

58
59
60 **SECTION 2.** With the recommendations of the City Council, the proposed Comprehensive Plan
61 Amendments shall be transmitted by the City Clerk to the Florida Department of Economic
62 Opportunity and other reviewing agencies pursuant to Chapter 163, Florida Statutes, for
63 appropriate review and approval.

64
65 **SECTION 3.** All ordinances or parts of ordinances in conflict herewith are hereby repealed.

66
67 **SECTION 4.** If any section, sentence, clause or phrase of this Ordinance is held to be invalid or
68 unconstitutional by a Court or competent jurisdiction, then said holding shall in no way affect the
69 validity of the remaining portions of said Ordinance.

70
71 **SECTION 5.** A copy of said Comprehensive Plan Amendment is filed in the Office of the City
72 Clerk of the City of Umatilla as a matter of permanent record of the City and the matters and
73 contents therein are made a part of this Ordinance by reference as fully and completely as if set
74 forth herein, and such copy shall remain on file in said office available for public inspection.

75
76 **SECTION 6.** That the City Clerk, after passage of this Ordinance, is hereby directed to indicate
77 the changes adopted in this Ordinance and to reflect the same in the Comprehensive Land Use
78 Plan of the City of Umatilla.

79
80 **SECTION 7.** The effective date of this Ordinance shall be the date the state land planning agency
81 issues a final order determining the Comprehensive Plan, as attached hereto and amended prior to
82 this Ordinance becoming effective, to be in compliance with Chapter 163, Florida Statutes, or the
83 date the Division of Administrative Hearings issues a final order determining the adopted 2035
84 Comprehensive Plan to be in compliance with Chapter 163, Florida Statutes, whichever occurs
85 first.

86
87
88
89
90
91

92
93 **PASSED AND ORDAINED** in regular session of the City Council of the City of Umatilla, Lake
94 County, Florida, this _____ day of _____, 2021.

95
96 _____
97 Kent Adcock, Mayor
98 City of Umatilla, Florida

99
100
101 ATTEST:

Approved as to Form:

102
103
104 _____
105 Gwen Johns, MMC
106 City Clerk

Kevin Stone
City Attorney

107
108
109 Passed First Reading _____
110 Passed Second Reading _____
111 (SEAL)

112
113
114

**CITY OF UMATILLA
AGENDA ITEM STAFF REPORT**

DATE: August 10, 2021

MEETING DATE: August 17, 2021

SUBJECT: Gateway Storage

ISSUE: Site Plan Approval

BACKGROUND SUMMARY:

The owner is seeking site plan approval for two warehouses (2), each consisting of 7,500 square feet on Lot 1A of Gateway Commerce Center. Each warehouse will consist of five (5) units of 30' x 50'. The proposed warehouse use is construction and contractors' yard and storage. Each unit will have a restroom facility with no offices proposed. The proposed warehousing is a permitted use pursuant to the existing PUD-Developers Agreement adopted by Ordinance 2020-B.

The site plan meets the minimum requirements of Chapter 13, Section 8. Staff recommends approval subject to an update FWC - Gopher Tortoise Survey prior to construction.

STAFF RECOMMENDATIONS: Approval

FISCAL IMPACTS:

COUNCIL ACTION:

Reviewed by City Attorney Yes No vN/A

Reviewed by City Engineer Yes No vN/A

GATEWAY STORAGE

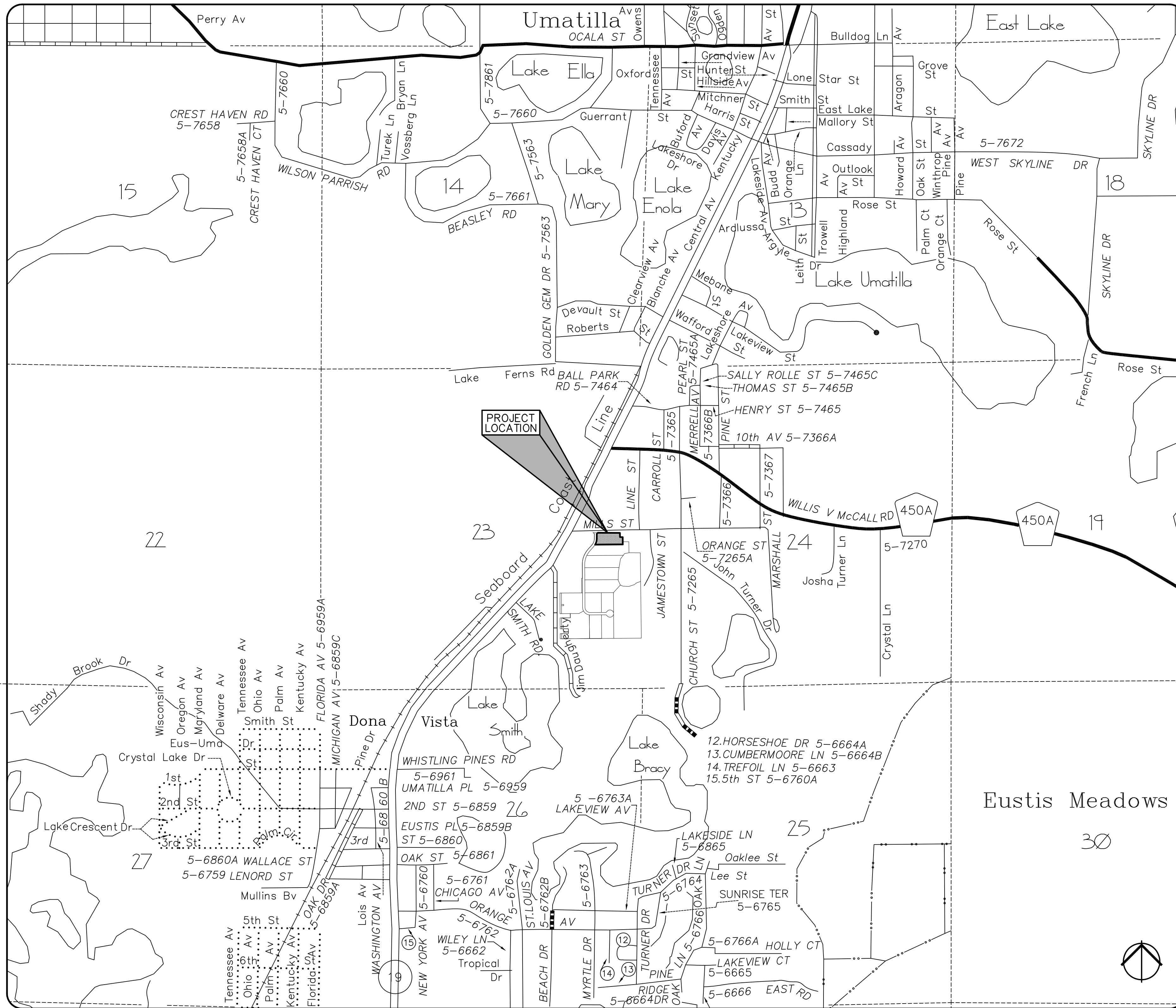
UMATILLA, FLORIDA

LEGAL DESCRIPTION LOT 1A

THAT PORTION OF LOT 1, GATEWAY COMMERCE CENTER, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 73, PAGES 82 THROUGH 84, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

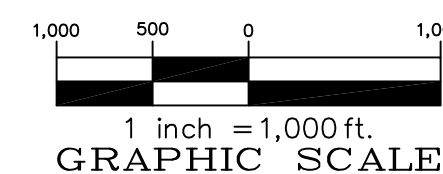
BEGINNING AT THE MOST NORTHEASTERLY CORNER OF LOT 1, GATEWAY COMMERCE CENTER, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 73, PAGES 82 THROUGH 84, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, RUN ALONG THE EASTERLY LINE OF SAID LOT 1 THE FOLLOWING THREE (3) COURSES: SOUTH 00°42'54" EAST, A DISTANCE OF 70.00 FEET; SOUTH 89°39'29" EAST, A DISTANCE OF 45.00 FEET; SOUTH 00°42'54" EAST, A DISTANCE OF 75.00 FEET; THENCE LEAVING SAID EASTERLY LINE OF LOT 1, RUN SOUTH 00°20'35" WEST, A DISTANCE OF 45.00 FEET; THENCE SOUTH 89°36'13" WEST, A DISTANCE OF 454.51 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTH-WESTERLY AND HAVING A RADIUS OF 190.00 FEET TO WHICH A RADIAL LINE BEARS SOUTH 59°21'54" EAST, SAID CURVE BEING THE WESTERLY LINE OF SAID LOT 1, ALSO BEING THE EASTERLY RIGHT OF WAY LINE OF DUCK BOX ROAD; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 30°17'30" AN ARC DISTANCE OF 100.45 FEET TO A POINT OF TANGENCY; THENCE CONTINUE ALONG THE WEST LINE OF SAID LOT 1 AND EASTERLY RIGHT OF WAY LINE OF DUCK BOX ROAD NORTH 00°20'35" EAST TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 25.00 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 80°00'00" AN ARC DISTANCE OF 39.27 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°39'29" EAST, ALONG THE NORTH LINE OF SAID LOT 1, ALSO BEING THE SOUTH RIGHT OF WAY LINE OF MILLS STREET AS DESCRIBED IN OFFICIAL RECORDS BOOK 1010, PAGE 88, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, A DISTANCE OF 355.86 FEET TO THE POINT OF BEGINNING.

SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD, IF ANY.



SECTION 23, TOWNSHIP 18 SOUTH, RANGE 26 EAST

LOCATION PLAN
SCALE: 1"=1,000'



GENERAL NOTES

- BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ARE PER DRAWINGS PREPARED BY BOOTH, ERN, STRAUGHAN AND HIOTT, INC., DATED 4/29/2020.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER OR ARCHITECT.
- CONTRACTOR SHALL LOCATE AND MAINTAIN IN GOOD WORKING ORDER ALL ABOVE GROUND AND BELOW GROUND UTILITIES. CONTRACTOR SHALL COORDINATE THE RELOCATION OR ALTERATION OF EXISTING UTILITIES AS MAY BE REQUIRED. CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATES PRIOR TO DIGGING.
- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF UMATILLA, FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE CODES.
- ALL DISTURBED OPEN AREAS SHALL BE SODDER OR SEEDED OR MULCHED IMMEDIATELY FOLLOWING COMPLETION OF THE BUILDING CONSTRUCTION AS SHOWN ELSEWHERE IN THESE PLANS.
- CONTRACTOR SHALL SUPPLY THE ENGINEER WITH "AS-BUILT" CONDITIONS OF ACTUAL CONSTRUCTION.
- CONSTRUCTION SURVEYING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR TO PAY COST OF WET TAPS INTO CITY OF UMATILLA WATER MAIN. (IF APPLICABLE)
- ALL WATER & SEWER LINE CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CITY OF UMATILLA REQUIREMENTS. (IF APPLICABLE)
- THE CONTRACTOR SHALL OBTAIN A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER PERMIT AS REGULATED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). CONTRACTOR SHALL BECOME FAMILIAR WITH THE NPDES PERMITTING REQUIREMENTS, DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE CONSTRUCTION SITE IS IN COMPLIANCE WITH NPDES REGULATIONS AND WILL BE RESPONSIBLE FOR ANY VIOLATIONS CITED BY DEP DURING CONSTRUCTION. INFORMATION PERTAINING TO THE NPDES PROGRAM IS AVAILABLE ON LINE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES OR BY CALLING FDEP NPDES STORMWATER SECTION AT 850-245-7522.

SHEET INDEX

C1.1	COVER SHEET
C1.2	STORMWATER POLLUTION PREVENTION PLAN
C2.1	GEOMETRY PLAN
C3.1	GRADING & DRAINAGE PLAN
C4.1	UTILITY PLAN
C5.1-C5.2	DETAIL SHEETS

SITE DATA

TOTAL AREA = 79,917 sq.ft. (1.83 ac.)
 PROPOSED IMPERVIOUS AREA = 34,259 sq.ft. (0.79 ac.)
 PERCENT IMPERVIOUS AREA = 42.9% (of total area)
 MAX ISR = 75%
 ZONING = INDUSTRIAL PLANNED UNIT DEVELOPMENT "IPUD"
 FUTURE LAND USE = INDUSTRIAL
 FLOOD ZONE = "X"
 EXISTING USE OF SITE = VACANT
 PROPOSED USE OF SITE = CONTRACTOR STORAGE / WAREHOUSE w/ SINGLE BATHROOM IN EACH UNIT
 PROJECTED NUMBER OF EMPLOYEES = 10 EMPLOYEES
 PROPOSED BUILDING SQUARE FOOTAGE = 15,000 sq.ft.
 FAR = 0.19
 MAX FAR = 2.0
 BUILDING HEIGHT = 25'
 MAX BUILDING HEIGHT = 50'
 BUILDING CONSTRUCTION TYPE = II (000)
 REQUIRED FIRE FLOW = 1750 GPM
 PARKING REQUIRED:
 STORAGE = 1 SPACE PER 1,000 sq.ft. = 15,000/1,000 = 15 SPACES
 PARKING PROVIDED = 25 SPACES, PLUS PARKING IN EACH UNIT
 ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

OWNER

H. Scott Purvis, Owner / Manager
Duck Box Properties, LLC
 600 Crescent Street
 Umatilla, Florida 32784
 Phone (352) 267-0150

ENGINEER

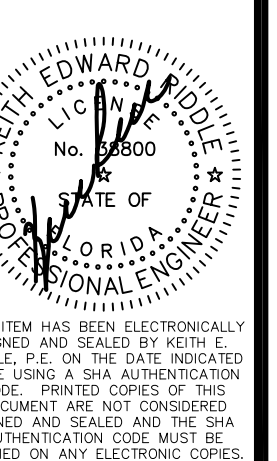
Keith E. Riddle, P.E.
Riddle - Newman Engineering, Inc.
 115 North Canal Street
 Leesburg, Florida 34748
 Phone (352) 787-7482
 Fax (352) 787-7412

SURVEYOR

John McGlohorn, PSM
Booth, Ern, Straughan and Hiott, Inc.
 902 Sinclair Avenue
 Tavares, Florida 32778
 Phone (352) 343-8481

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 115 NORTH CANAL STREET
 LEESBURG, FLORIDA 34748
 PHONE (352) 787-7482
 FAX (352) 787-7412
 keith@riddlenewman.com
 CA# 00002883

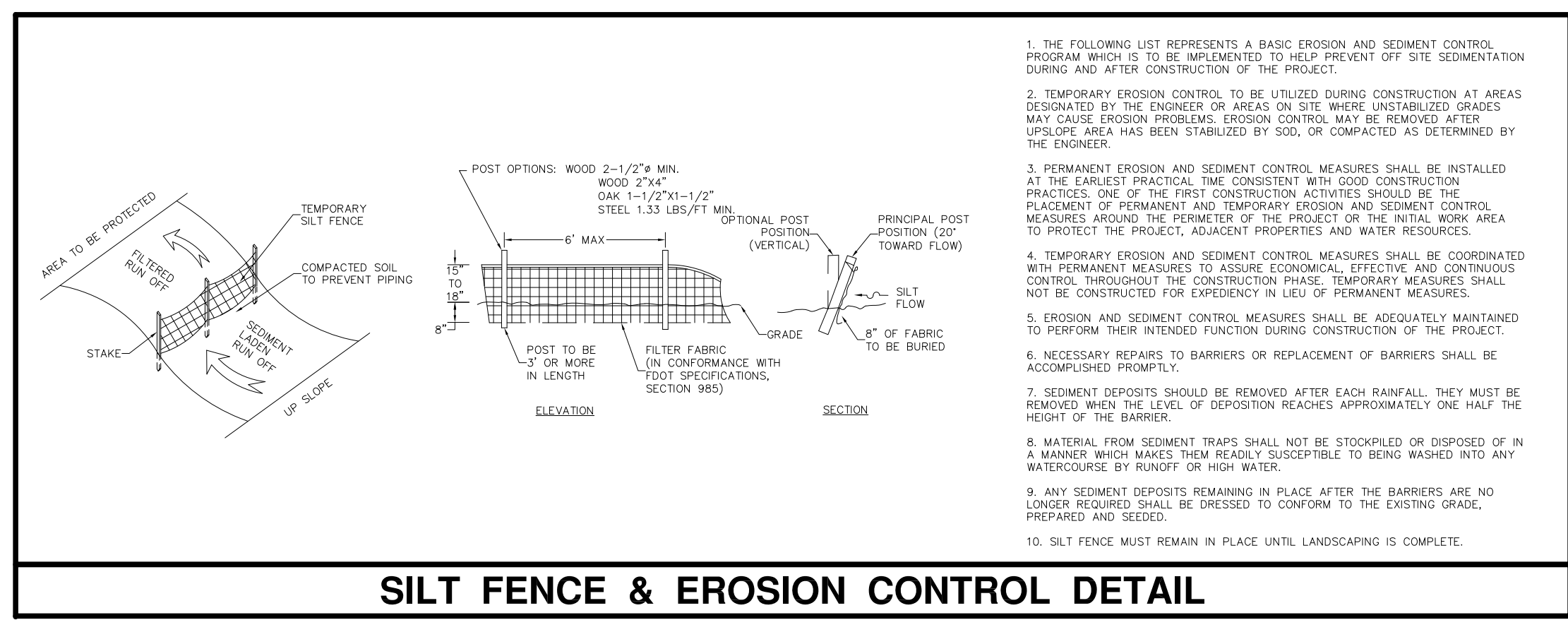
REV #1	REV #2	REV #3	REV #4	REV #5



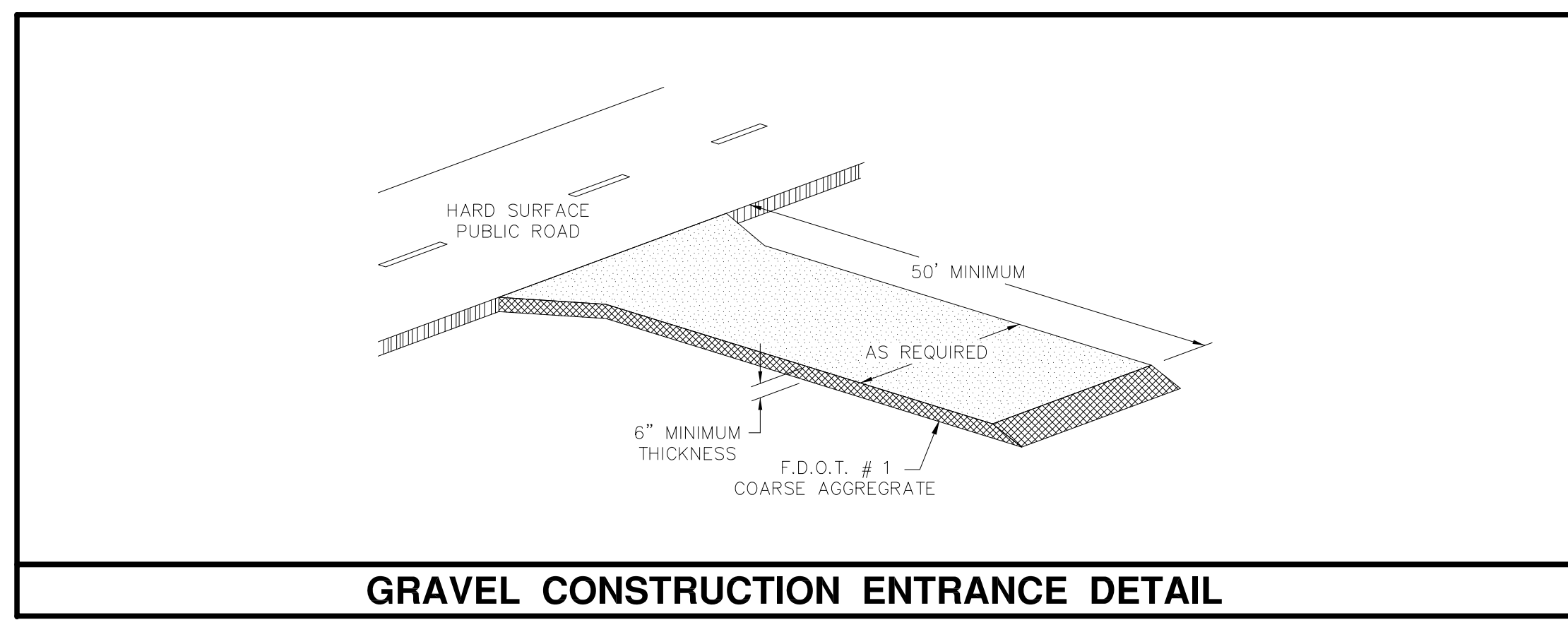
DRAWN	R.S.H.
CHECKED	K.E.R.
SCALE	1"=1,000'
DATE	6/2/2021
PROJECT NO.	21.02

COVER SHEET
GATEWAY STORAGE
 FLORIDA
 UMATILLA

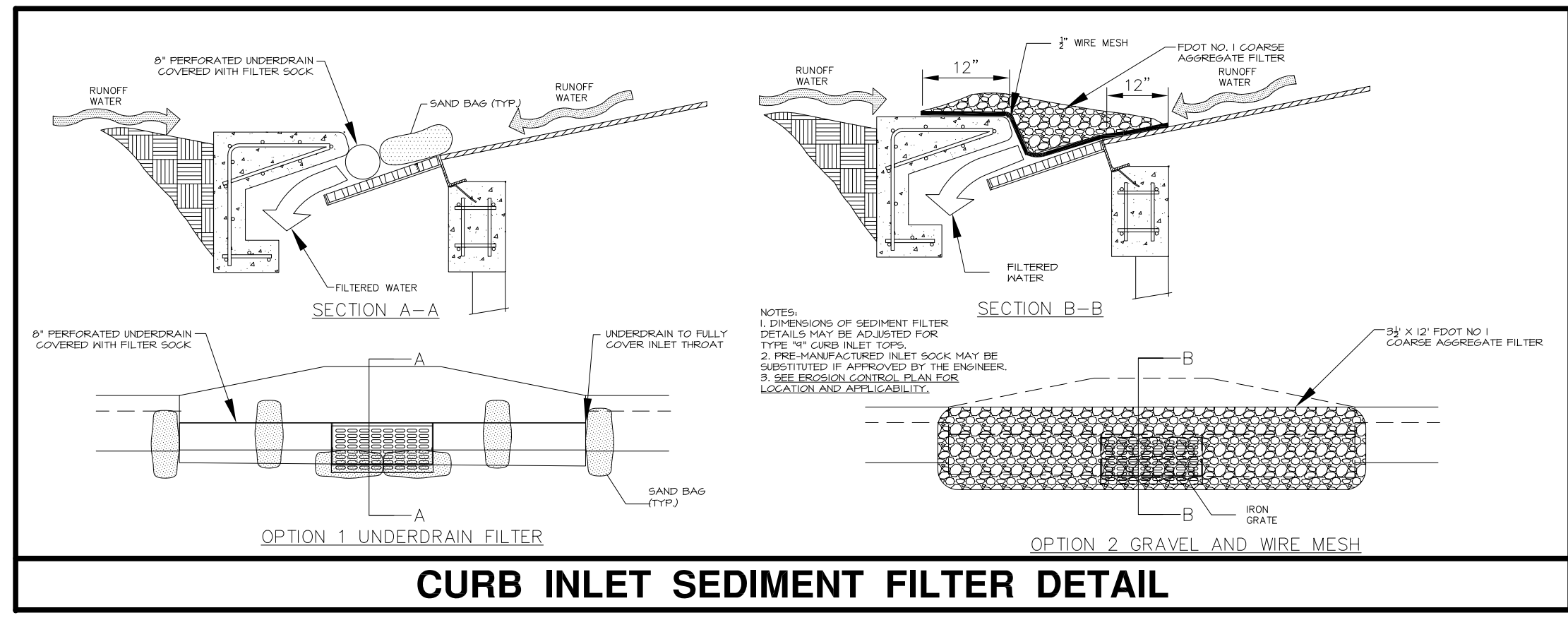
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C1.1



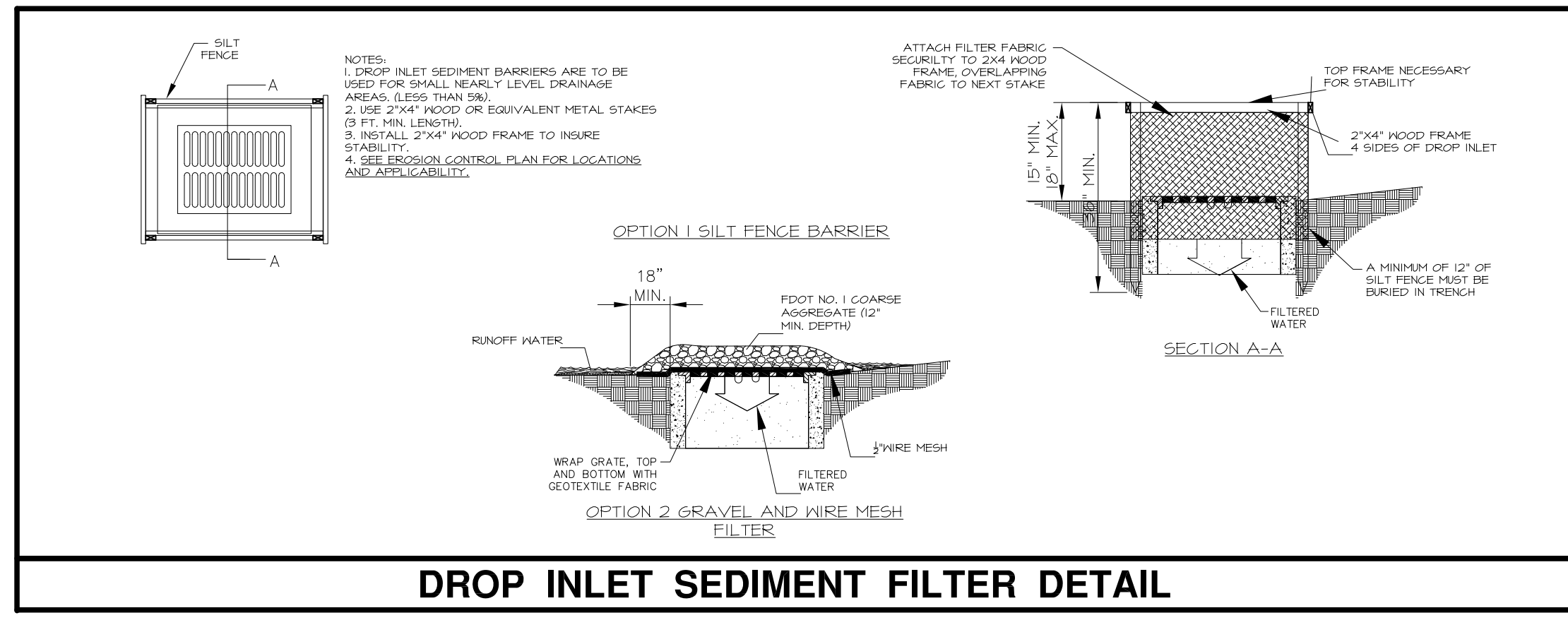
SILT FENCE & EROSION CONTROL DETAIL



GRAVEL CONSTRUCTION ENTRANCE DETAIL



CURB INLET SEDIMENT FILTER DETAIL

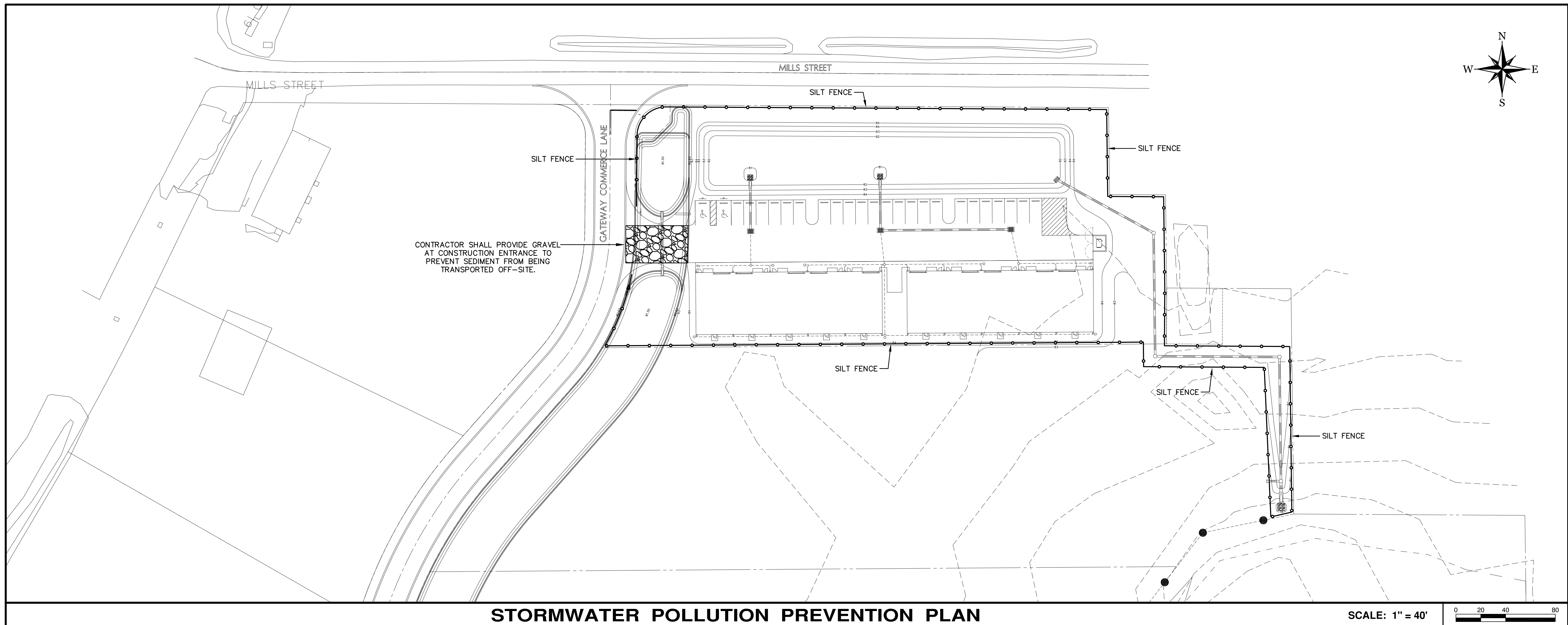


DROP INLET SEDIMENT FILTER DETAIL

NPDES Requirements

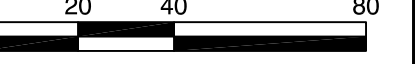
- Federal Law prohibits all point source discharge of pollutants, which includes the discharge of stormwater associated with large (greater than 5 acres) construction activities or small (less than 5 acres and greater than 1 acres) construction activities, to waters of the United States without a National Pollutant Discharge Elimination System (NPDES) permit. Under the State of Florida's authority to administer the NPDES stormwater program, operators that have stormwater discharge associated with large or small construction activities to surface waters of the State, including through a Municipal Separate Storm Sewer System (MS4, i.e. Town, City or County), shall obtain coverage either under a Generic permit or an Individual permit.
- The Contractor shall obtain the NDEP permit during the permitting process.
- The Contractor shall prepare the Storm Water Pollution Prevention Plan (SWPPP). Contractor may obtain information pertaining to the NPDES program online at www.dep.state.fl.us/water/stormwater/npdes. The Contractor shall be responsible for maintenance of the site in accordance with the SWPPP. The Contractor will be required to comply with all requirements of the SWPPP and have it posted on-site along with the Erosion Control Plan, the NPDES permit, and the completed Inspection Report Forms. The Contractor shall be responsible for all erosion control practices defined in the SWPPP and associated penalties for not complying with the NPDES requirements contained in the SWPPP and the NPDES permit. The cost of all compliance related activities shall be included in the bid submitted by the Contractor.
- The NPDES permit requires at least weekly inspections of the site and inspections within 24 hours following any rainfall event exceeding 0.5" inches. The Contractor is responsible for the weekly inspections and post-rainfall event inspections and these inspections are required to be made by a "Qualified" inspector. These inspections must document compliance with the permit and the SWPPP and the inspector shall complete the Stormwater Pollution Prevention Plan Inspection Report Form. The Contractor can obtain a sample copy of the Inspection Report Form from the Engineer. The Contractor can contact the FDEP at (850) 245-7522 for additional information on qualified inspectors or additional information on the NPDES requirements.

NPDES REQUIREMENTS



STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1" = 40'



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 PHONE (352) 787-7482
 FAX (352) 787-7412
 keith@riddlenewman.com
 CA# 0002863

RIDDLE NEWMAN ENGINEERING INC.
 ESTABLISHED 1971

REV #5	REV #4	REV #3	REV #2	REV #1
			REVISED PER UMATILLA	REVISED PER ST. JOHNS
			7/13/2021	6/23/2021

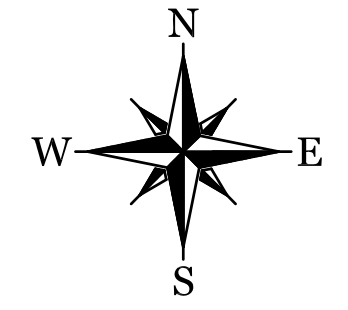
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 CHECKED: K.E.R.
 SCALE: 1" = 40'
 DATE: 6/2/2021
 PROJECT NO: 21.02

STORMWATER POLLUTION PREVENTION PLAN
 GATEWAY STORAGE
 FLORIDA
 UMATILLA

SHEET NO.
C1.2

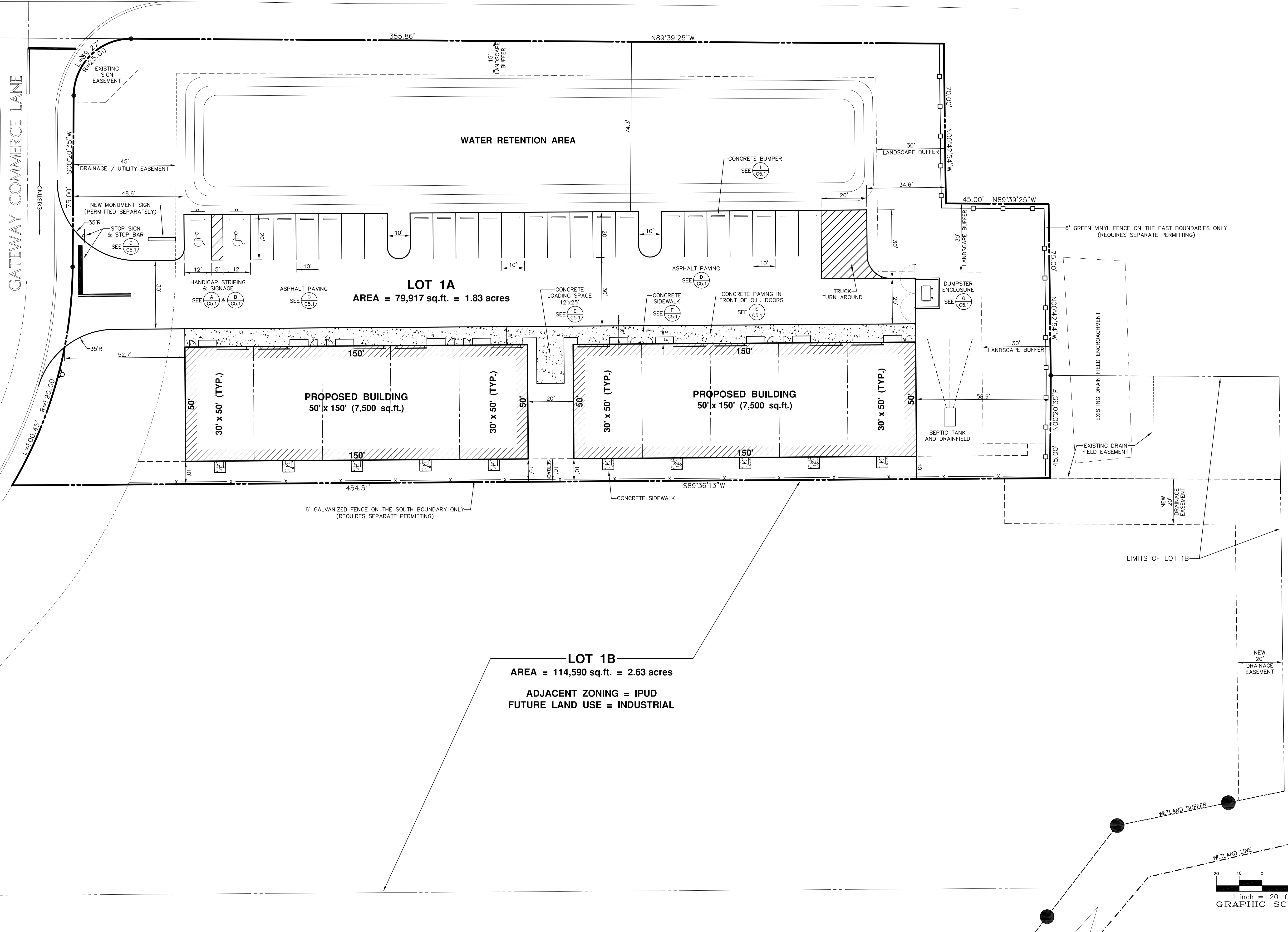
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MILLS STREET

GATEWAY COMMERCE LANE

ADJACENT ZONING = C-2
FUTURE LAND USE = COMMERCIAL



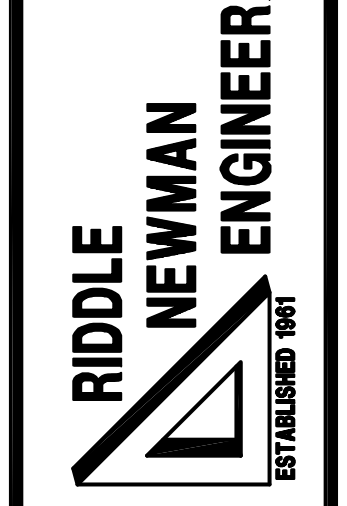
LOT 1A
AREA = 79,917 sq.ft. = 1.83 acres

PROPOSED BUILDING
50' x 150' (7,500 sq.ft.)

PROPOSED BUILDING
50' x 150' (7,500 sq.ft.)

LOT 1B
AREA = 114,590 sq.ft. = 2.63 acres
ADJACENT ZONING = IPUD
FUTURE LAND USE = INDUSTRIAL

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CA# 00002883



REV #5	REV #4	REV #3	REV #2	REV #1

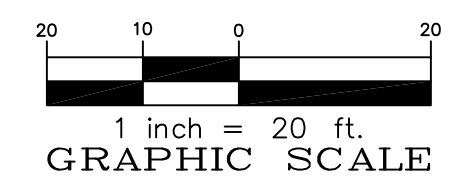
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY KEITH RIDDLE, ENGINEER IN CHARGE, STATE OF FLORIDA, PROFESSIONAL ENGINEER NO. 31000. ORIGINAL SIGNATURE AND SEAL ARE NOT CONSIDERED VALID UNLESS THE SIGNATURE AND SEAL ARE VERIFIED ON ANY ELECTRONIC COPY.

DRAWN: R.S.H.	CHECKED: K.E.R.
SCALE: 1" = 20'	DATE: 6/2/2021
PROJECT NO: 21.02	

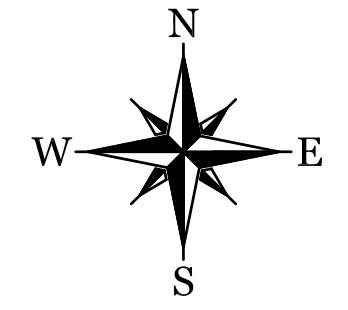
GEOMETRY PLAN
GATEWAY STORAGE
FLORIDA
UMATILLA

SHEET NO.
C2.1

FILE: \21.02\Gateway Storage

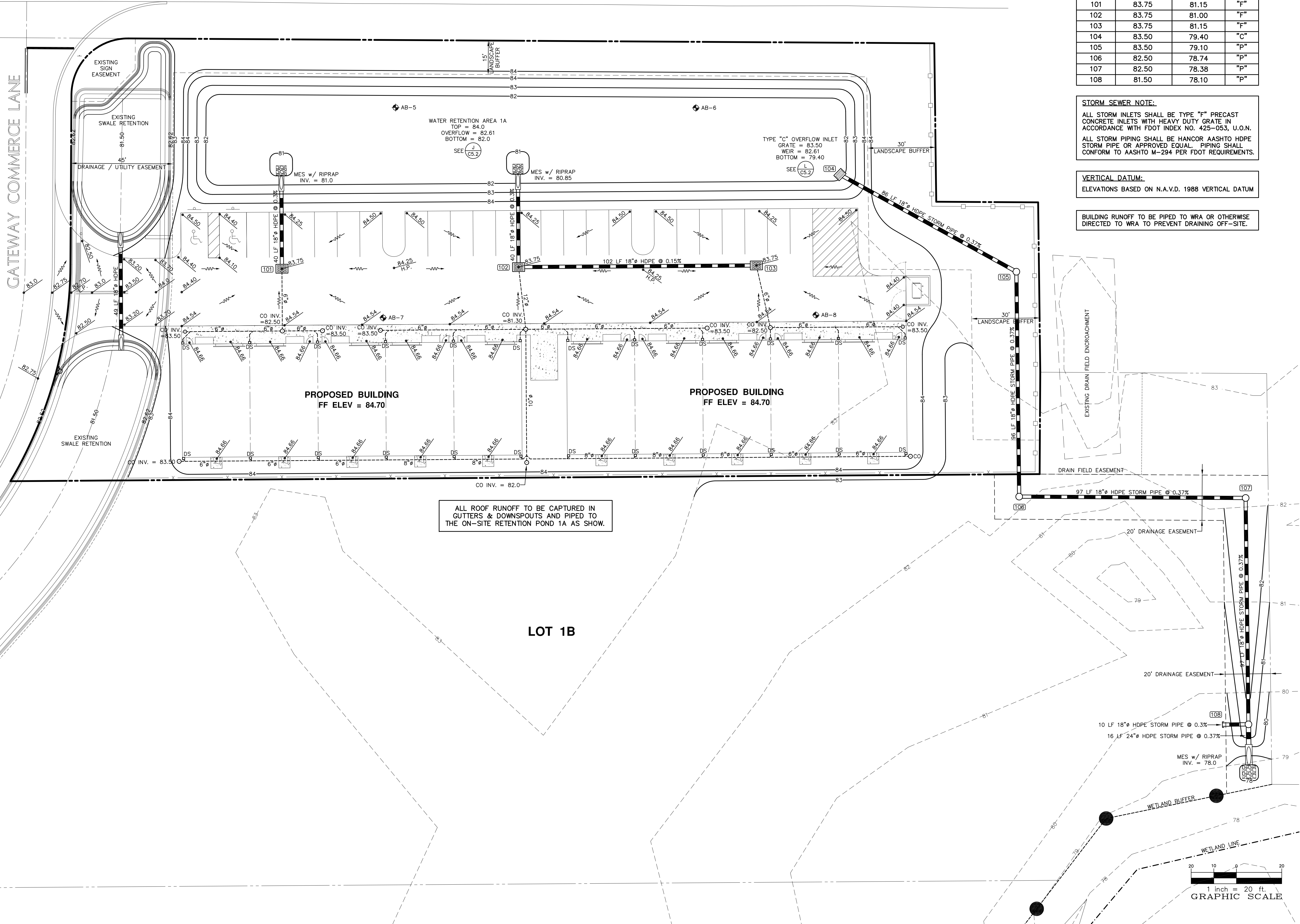


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MILLS STREET

GATEWAY COMMERCE LANE



STORM DRAINAGE SCHEDULE			
INLET/MH#	GRATE ELEV.	INV. ELEV.	TYPE
101	83.75	81.15	"F"
102	83.75	81.00	"F"
103	83.75	81.15	"F"
104	83.50	79.40	"C"
105	83.50	79.10	"P"
106	82.50	78.74	"P"
107	82.50	78.38	"P"
108	81.50	78.10	"P"

STORM SEWER NOTE:
 ALL STORM INLETS SHALL BE TYPE "F" PRECAST CONCRETE INLETS WITH HEAVY DUTY GRATE IN ACCORDANCE WITH FDOT INDEX NO. 425-053, U.O.N.
 ALL STORM PIPING SHALL BE HANCOR AASHTO HDPE STORM PIPE OR APPROVED EQUAL. PIPING SHALL CONFORM TO AASHTO M-294 PER FDOT REQUIREMENTS.

VERTICAL DATUM:
 ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

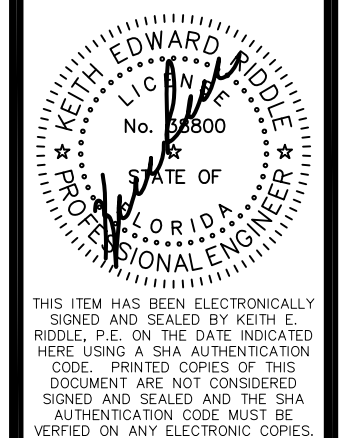
BUILDING RUNOFF TO BE PIPED TO WRA OR OTHERWISE DIRECTED TO WRA TO PREVENT DRAINING OFF-SITE.

ALL ROOF RUNOFF TO BE CAPTURED IN GUTTERS & DOWNSPOUTS AND PIPED TO THE ON-SITE RETENTION POND 1A AS SHOW.

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 LEESBURG, FLORIDA 34748
 PHONE (352) 787-7482
 FAX (352) 787-7412
 keith@riddlenewman.com
 CA# 0002883

RIDDLE NEWMAN ENGINEERING INC.
 ESTABLISHED 1971

REV #	REV #	REV #	REV #
REV #1	REV #2	REV #3	REV #4
REVISED PER UMATILLA	REVISED PER ST. JOHNS	7/13/2021	6/23/2021

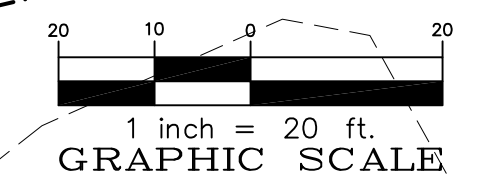


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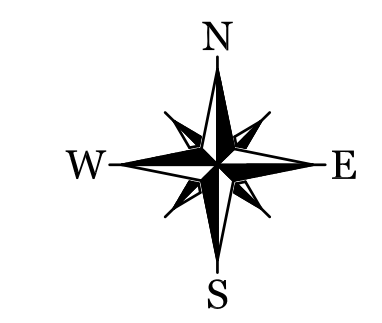
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 CHECKED: K.E.R.
 SCALE: 1" = 20'
 DATE: 6/2/2021
 PROJECT NO: 21.02

GRADING & DRAINAGE PLAN
GATEWAY STORAGE
 FLORIDA
 UMATILLA

SHEET NO.
C3.1



FILE: \21.02 Gateway Storage
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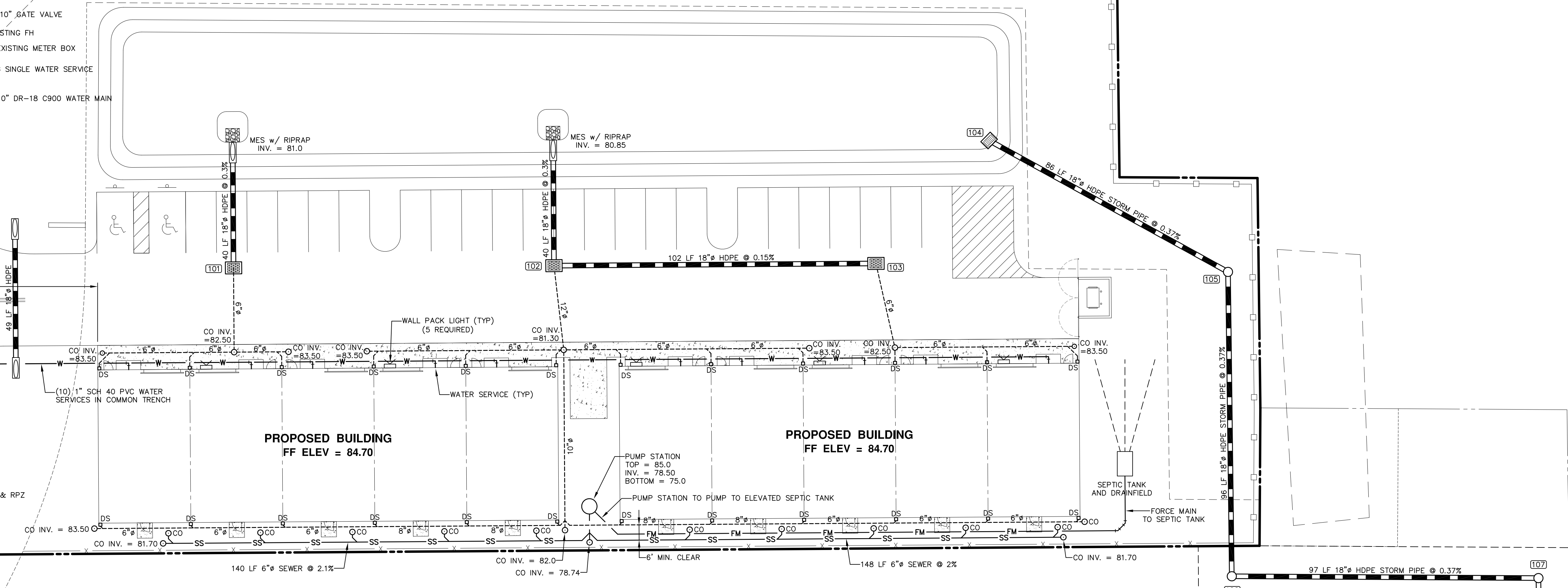


MILLS STREET

GATEWAY COMMERCE LANE

EXISTING 3" PLUG VALVE
 EXISTING 3" DR-25 FORCE MAIN FOR FUTURE SEWER SERVICE
 EXISTING 10" GATE VALVE
 EXISTING FH
 EXISTING METER BOX
 EXISTING SINGLE WATER SERVICE
 EXISTING 10" DR-18 C900 WATER MAIN

NEW 10"x6" WET TAP & NEW FH ASSEMBLY
 (10) 1" METER & RPZ



ALL ROOF RUNOFF TO BE CAPTURED IN GUTTERS & DOWNSPOUTS AND PIPED TO THE ON-SITE RETENTION POND 1A AS SHOW.

STORM DRAINAGE SCHEDULE			
INLET/MH#	GRATE ELEV.	INV. ELEV.	TYPE
101	83.75	81.15	"F"
102	83.75	81.00	"F"
103	83.75	81.15	"F"
104	83.50	79.40	"C"
105	83.50	79.10	"P"
106	82.50	78.74	"P"
107	82.50	78.38	"P"
108	81.50	78.10	"P"

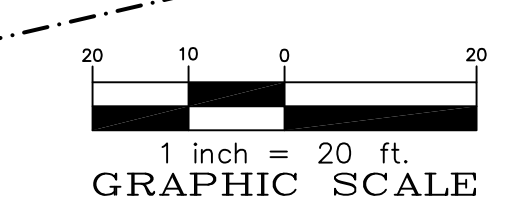
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 ALL STORM PIPING SHALL BE HANCOB AASHTO HDPE STORM PIPE OR APPROVED EQUAL. PIPING SHALL CONFORM TO AASHTO M-294 PER FDOT REQUIREMENTS.

VERTICAL DATUM:
 ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

SEPTIC TANK AND DRAINFIELD PERMITTED BY OTHERS

DISTANCE TO NEAREST HYDRANT = 152'

10 LF 18" HDPE STORM PIPE @ 0.37%
 16 LF 24" HDPE STORM PIPE @ 0.37%
 MES w/ RIPRAP
 INV. = 78.0



RIDDLE - NEWMAN ENGINEERING, INC.
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RIDDLE NEWMAN ENGINEERING INC.
 ESTABLISHED 1981

REV #5	REVISED PER UMATILLA	7/13/2021
REV #4	REVISED PER ST. JOHNS	6/23/2021
REV #3		
REV #1		

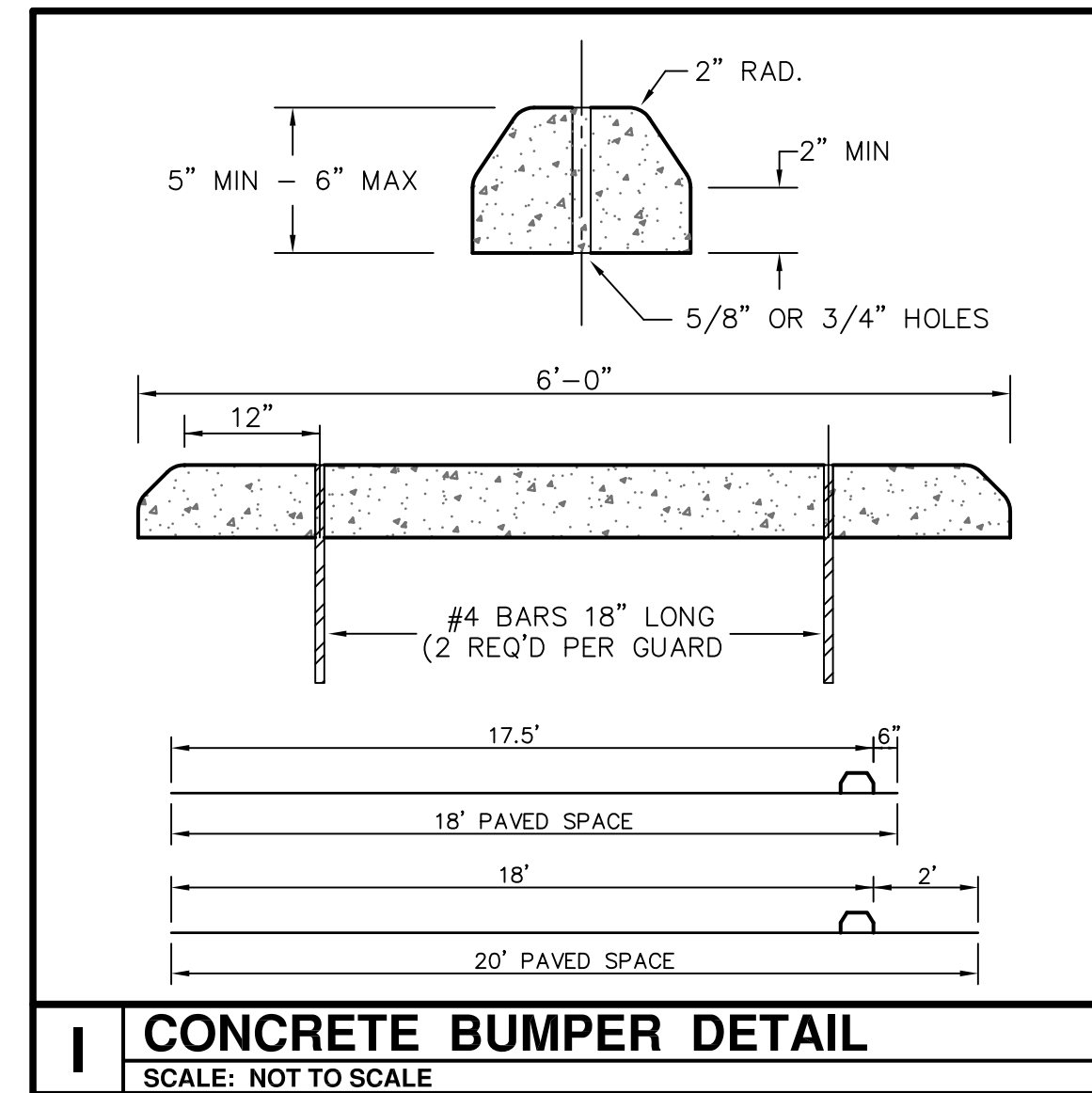
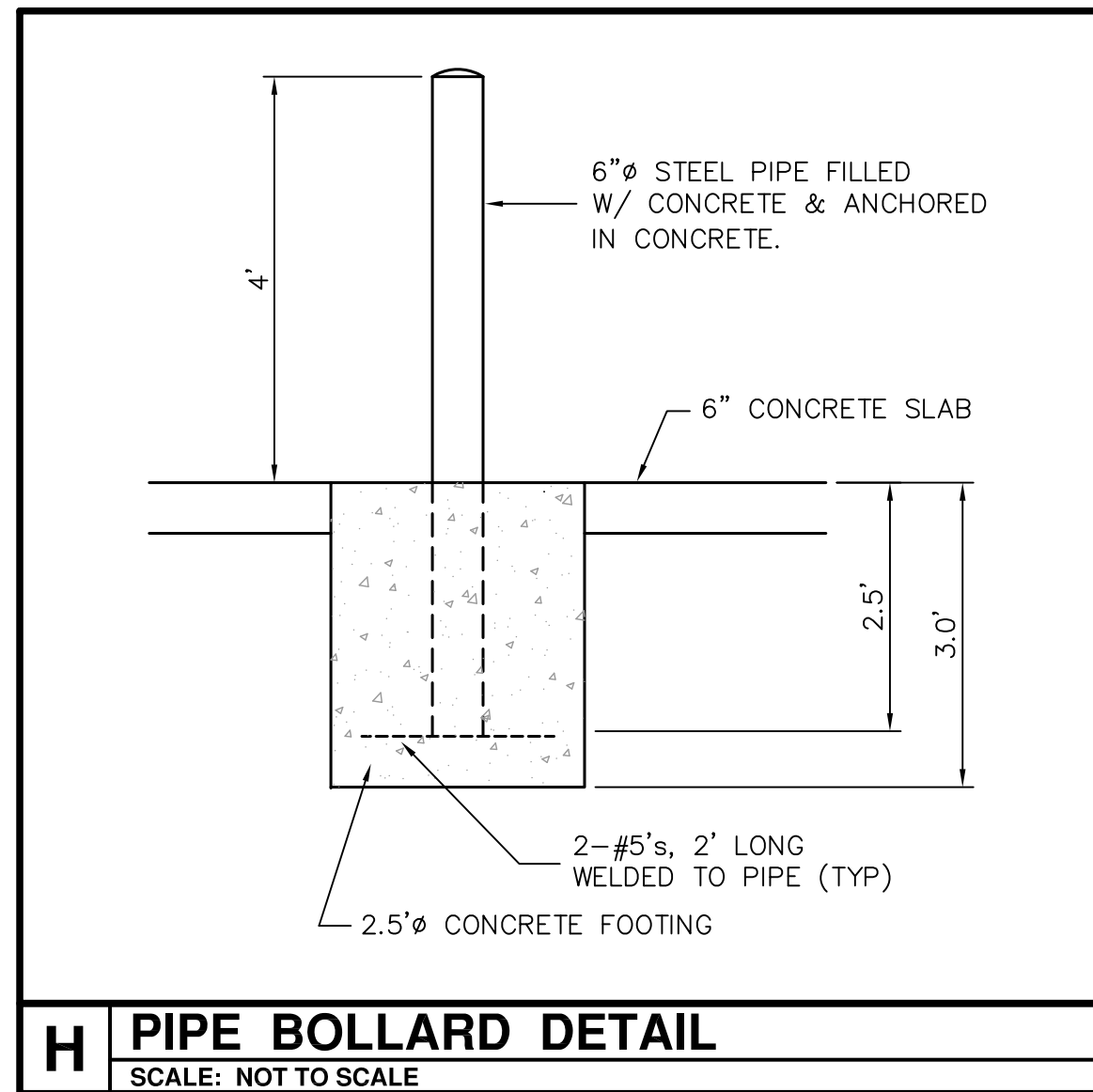
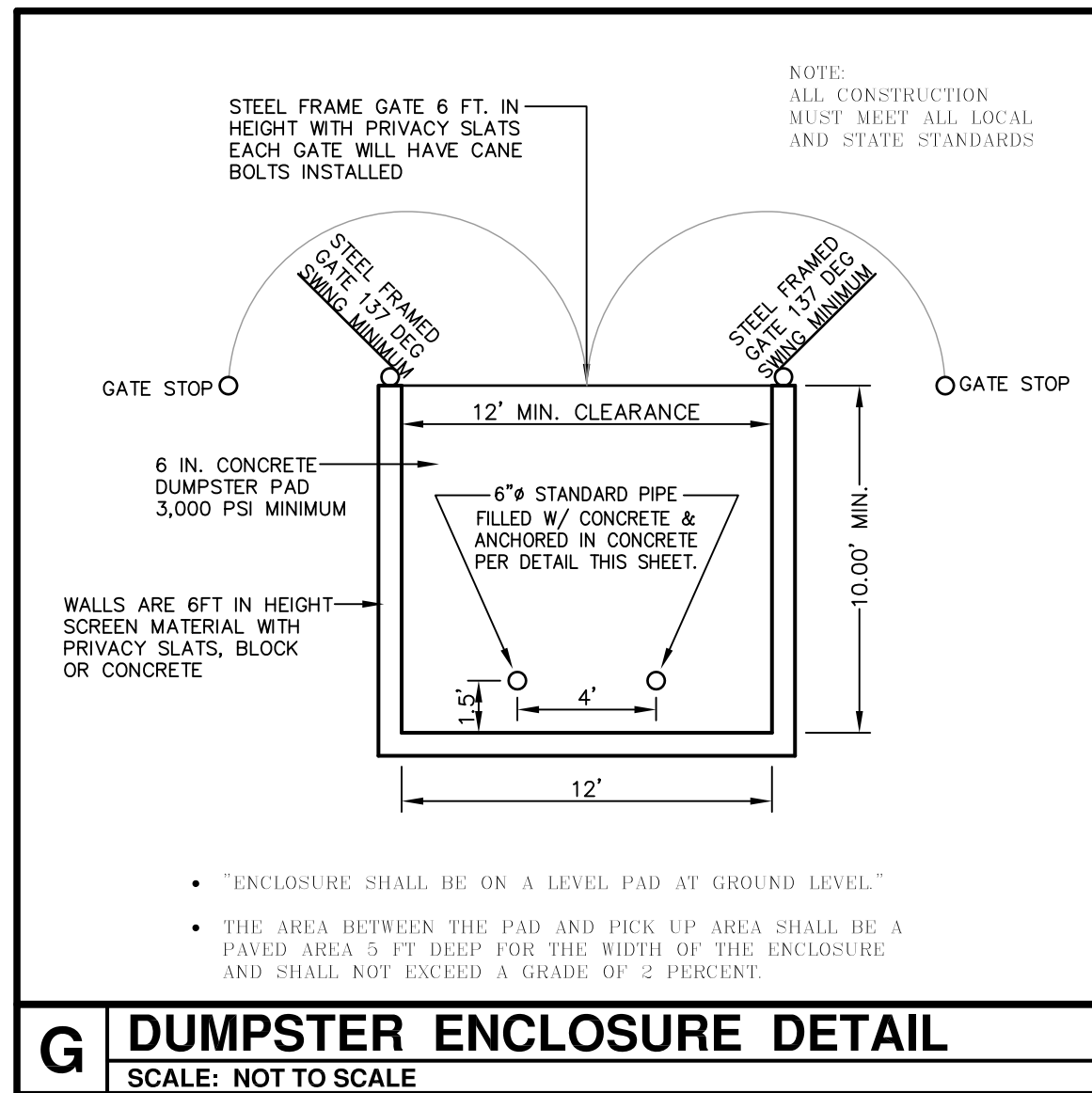
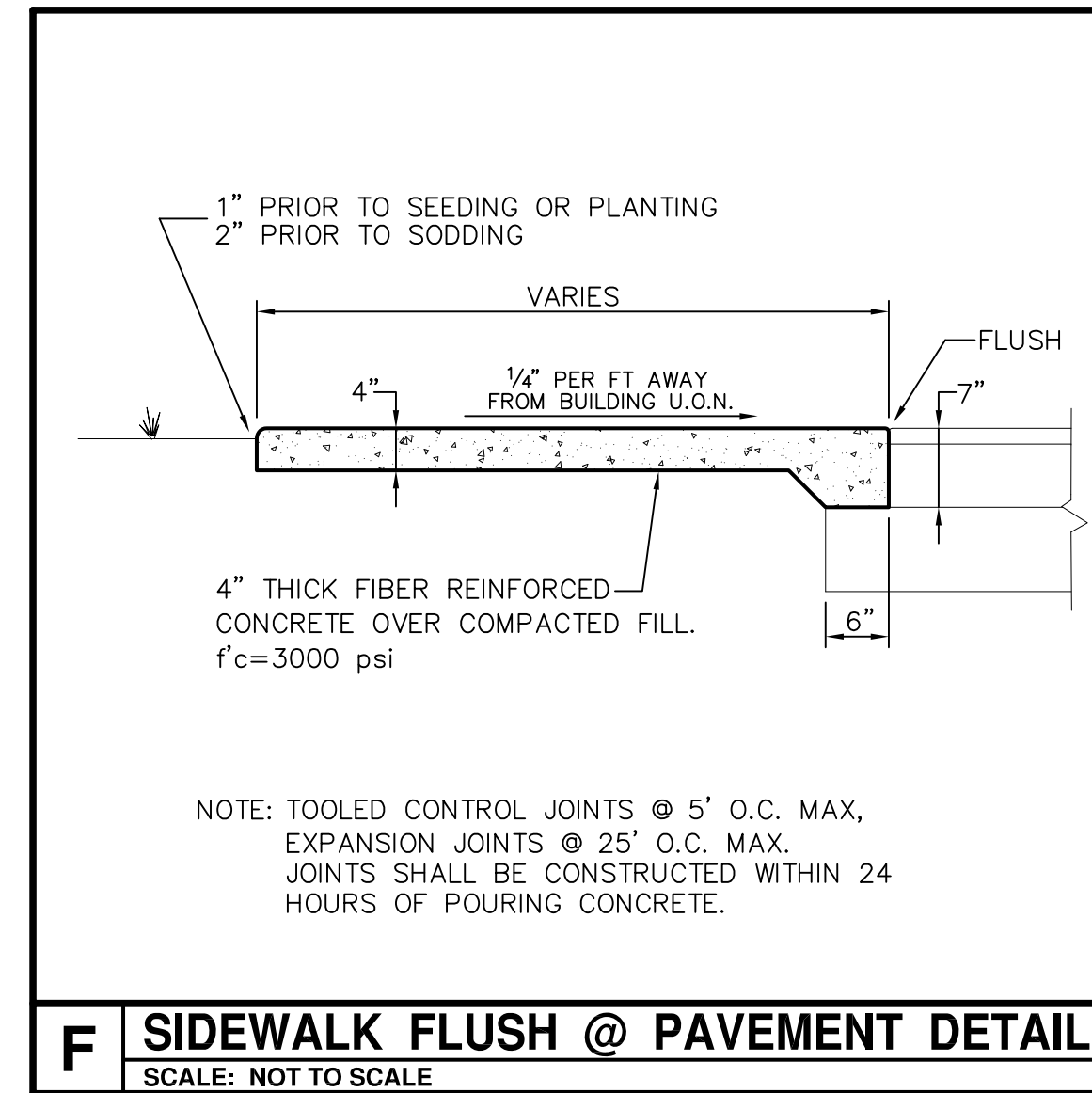
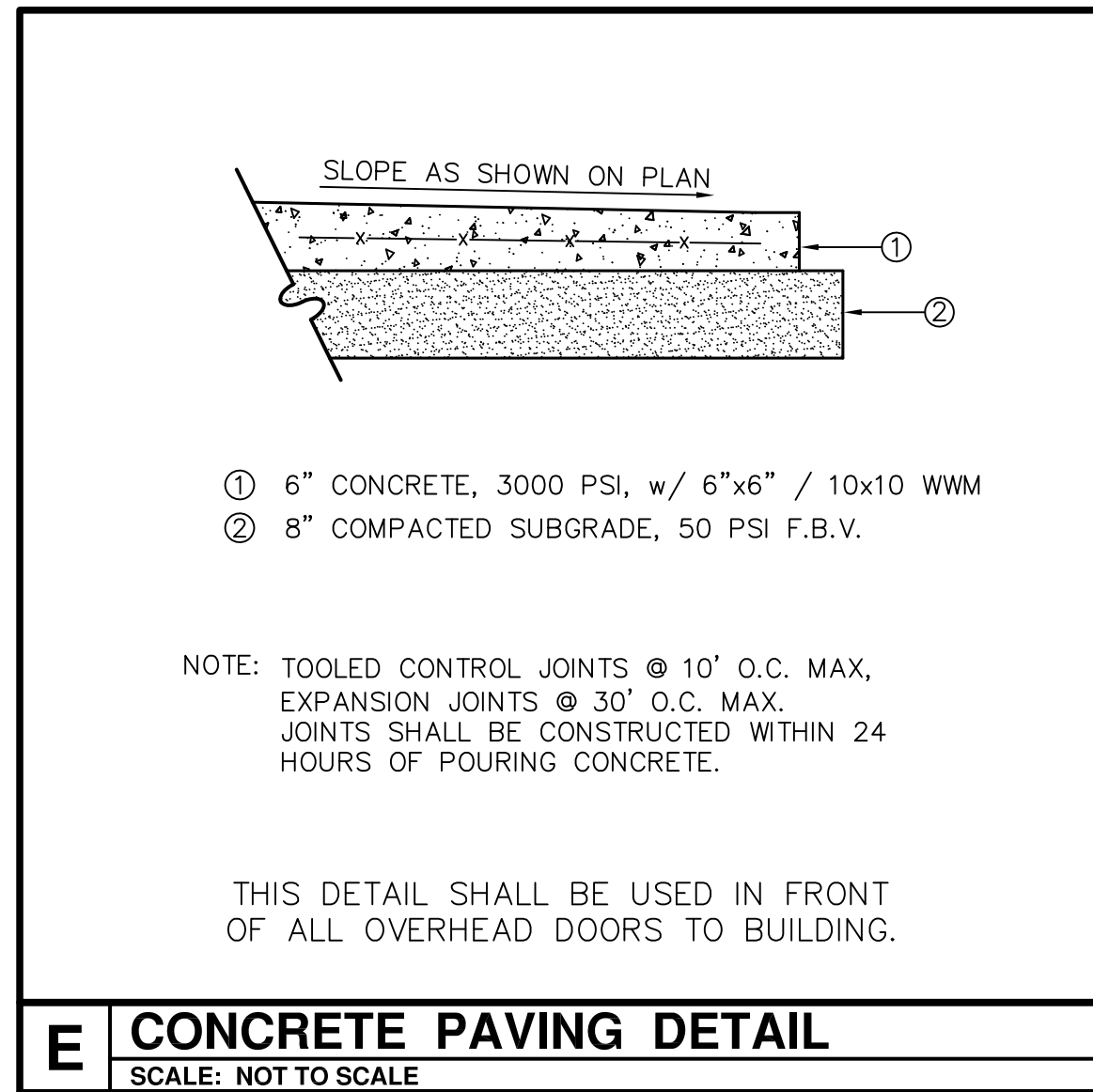
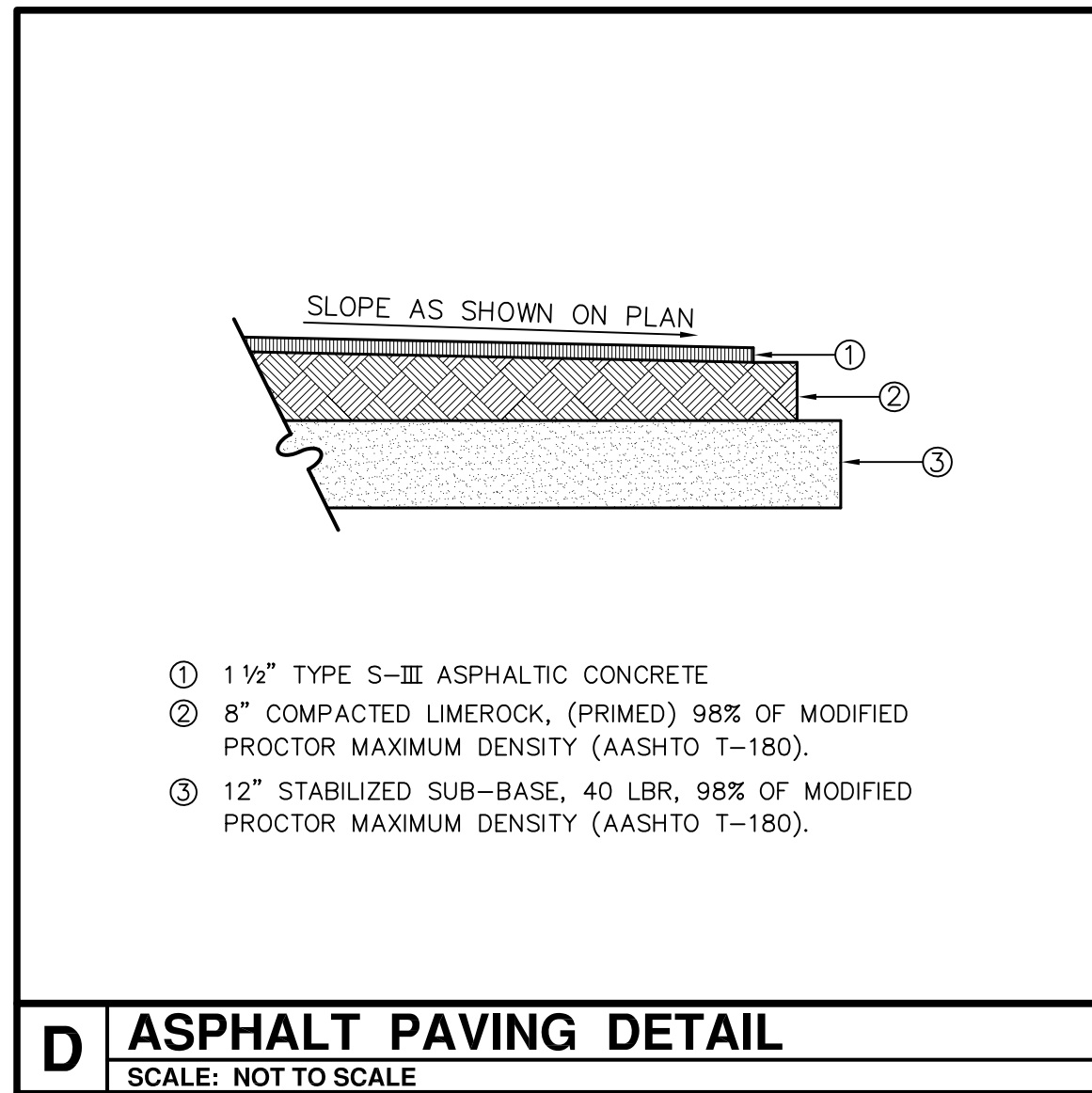
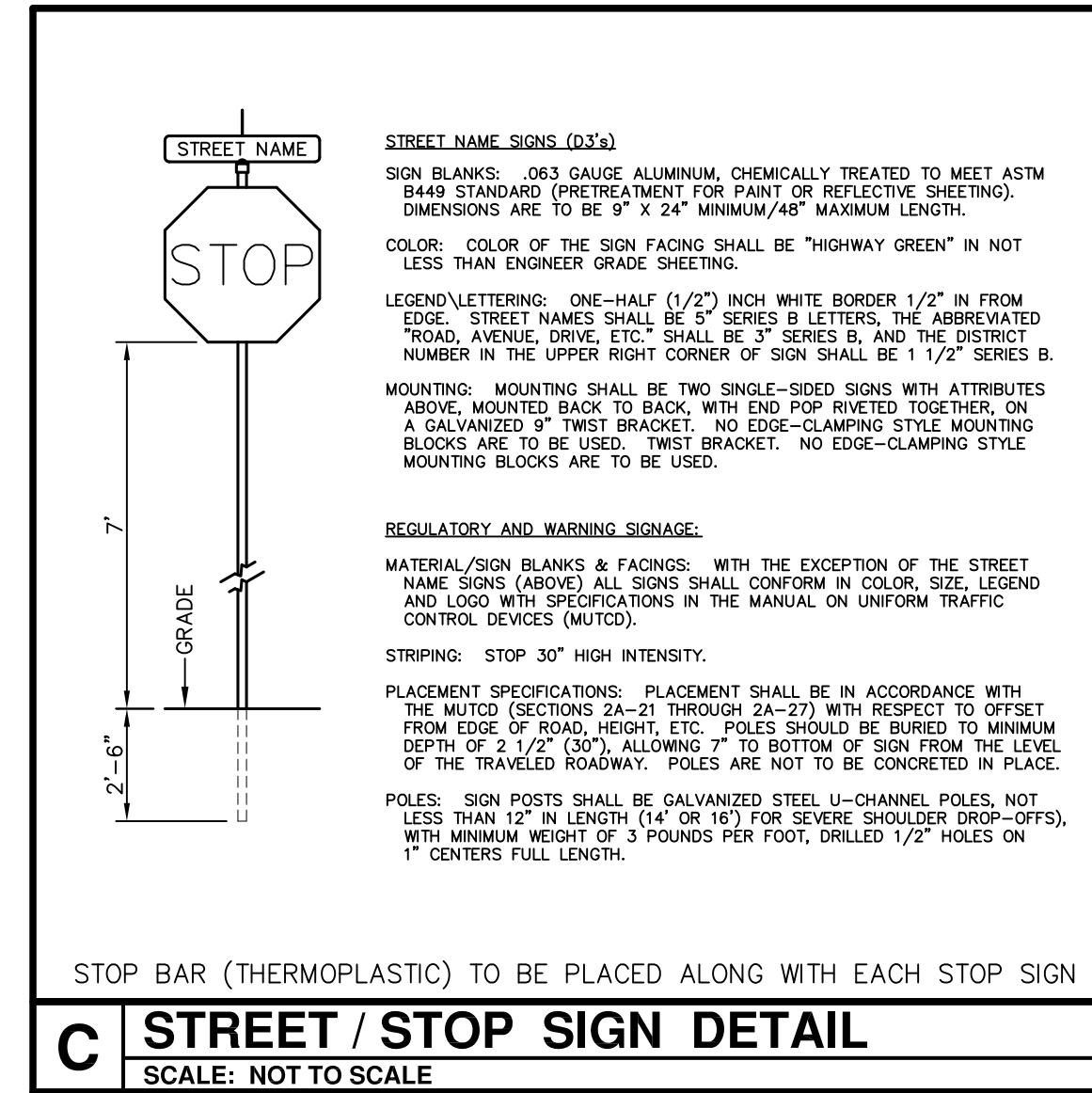
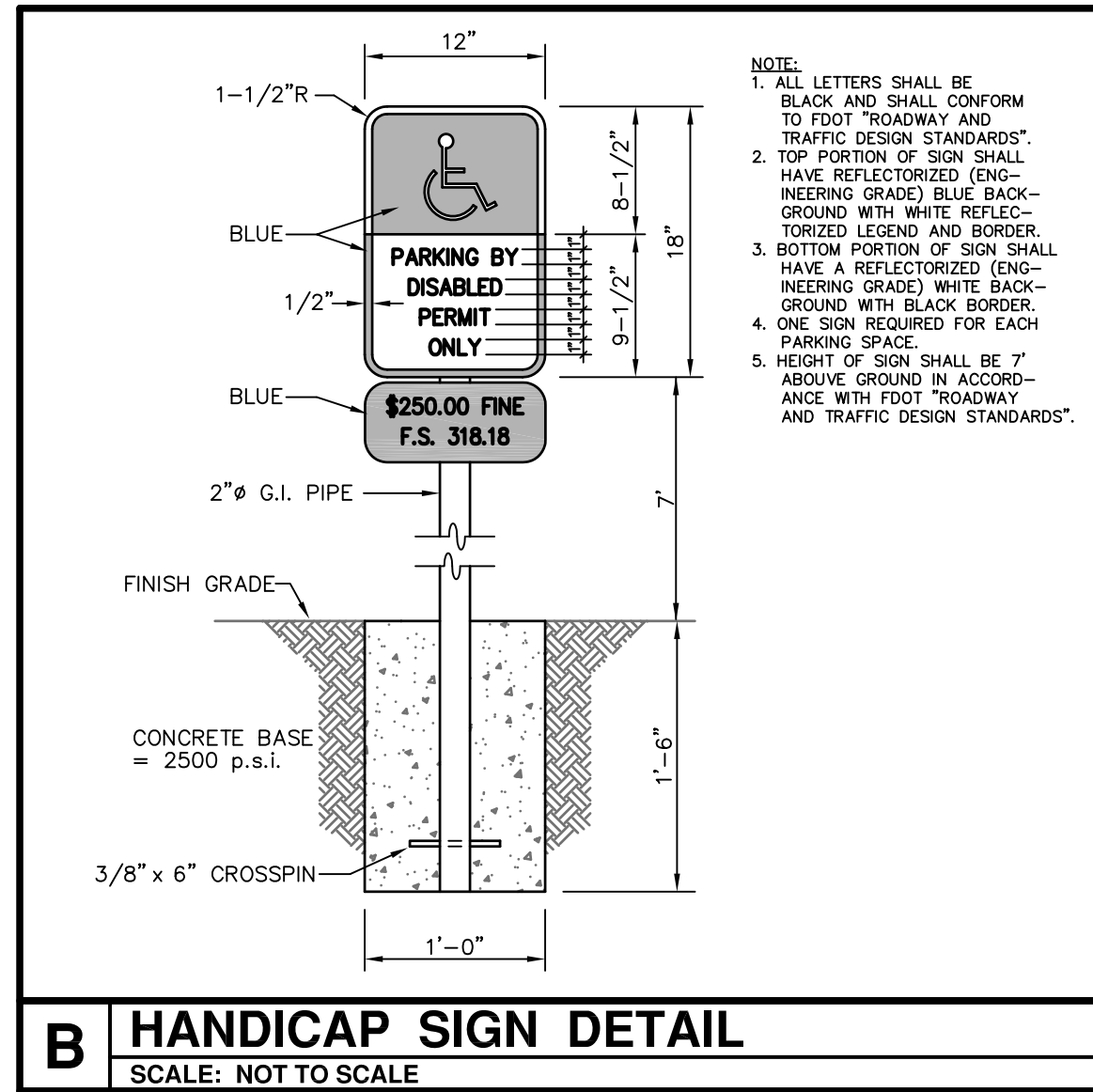
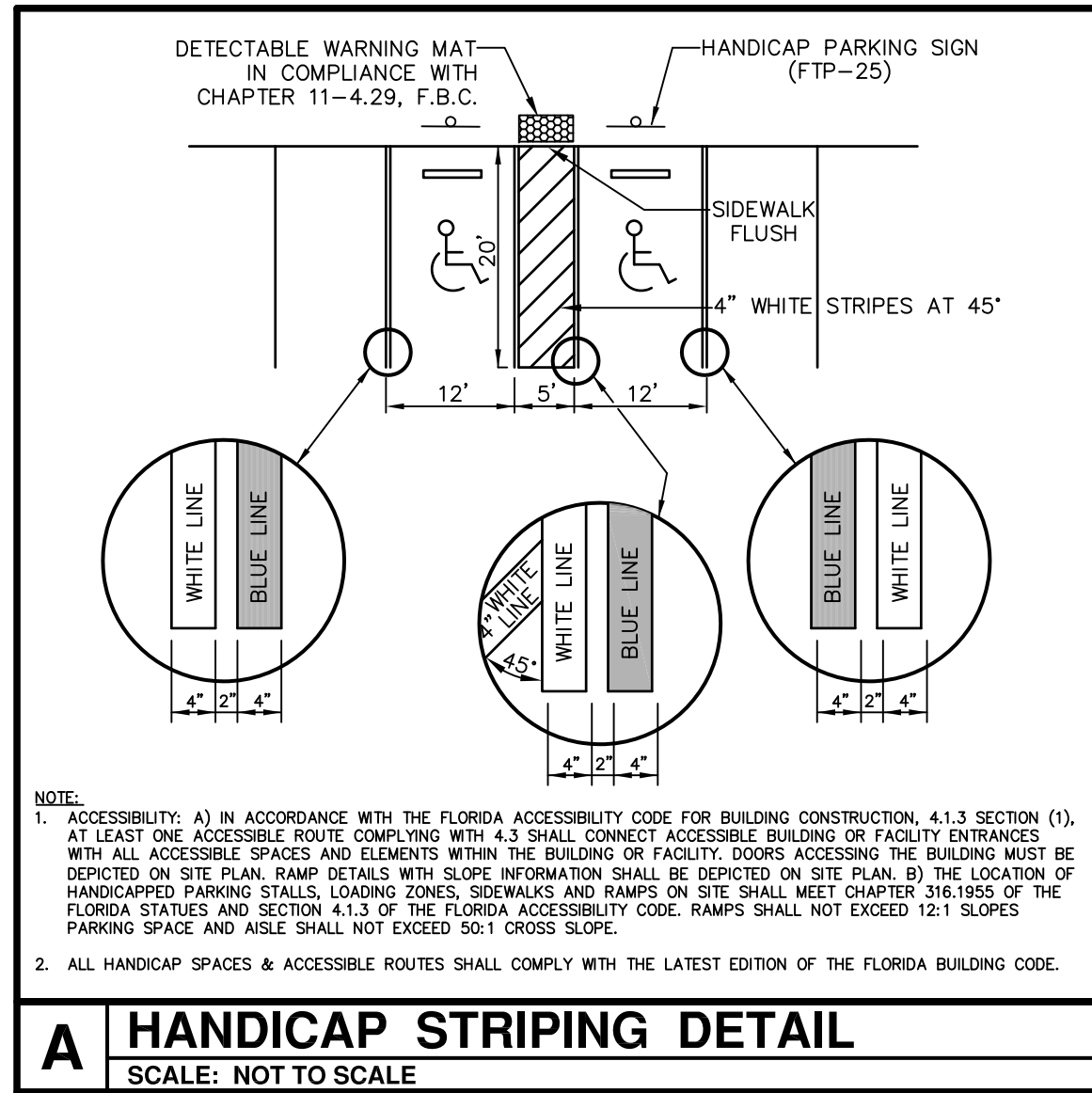
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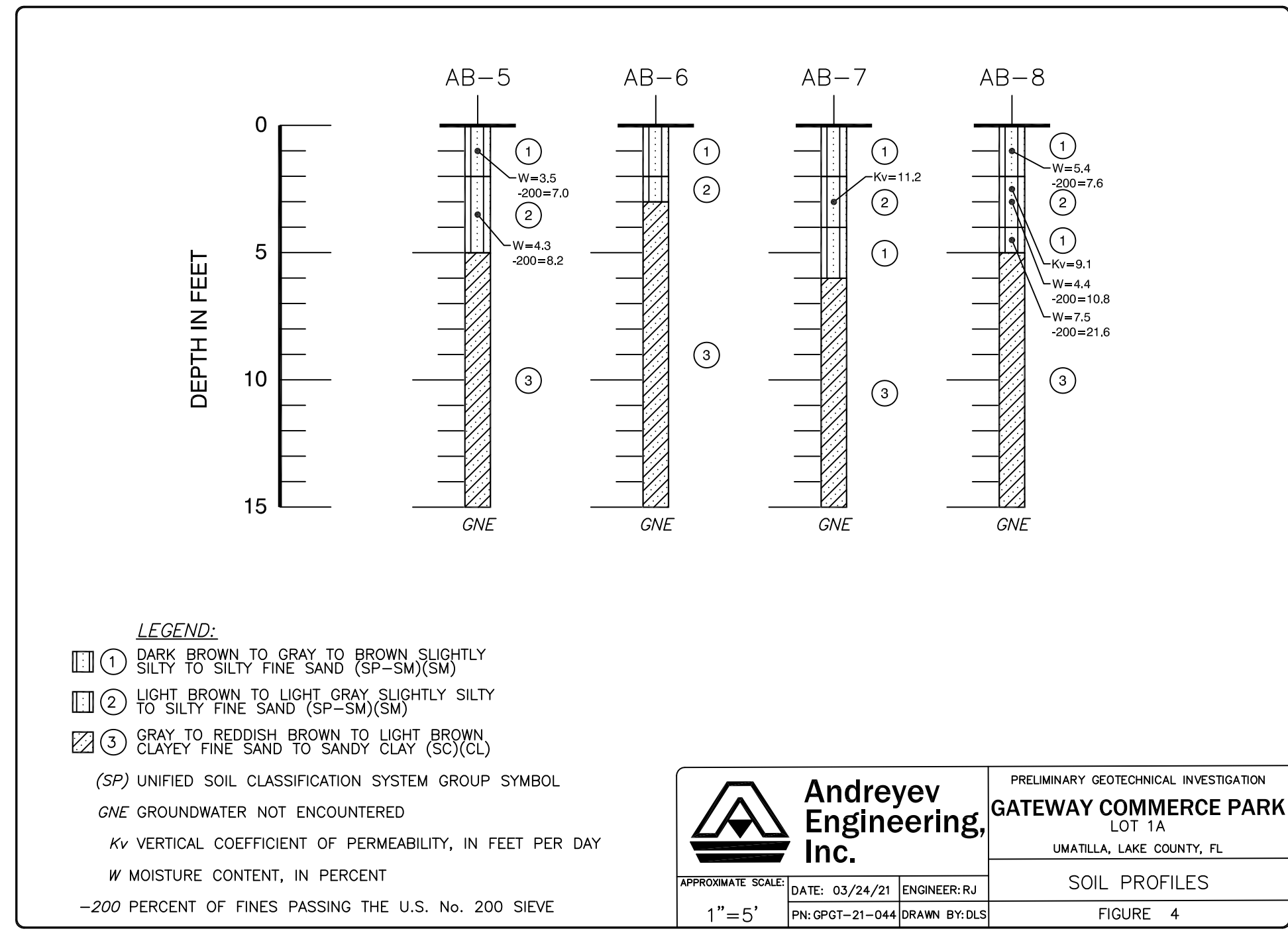
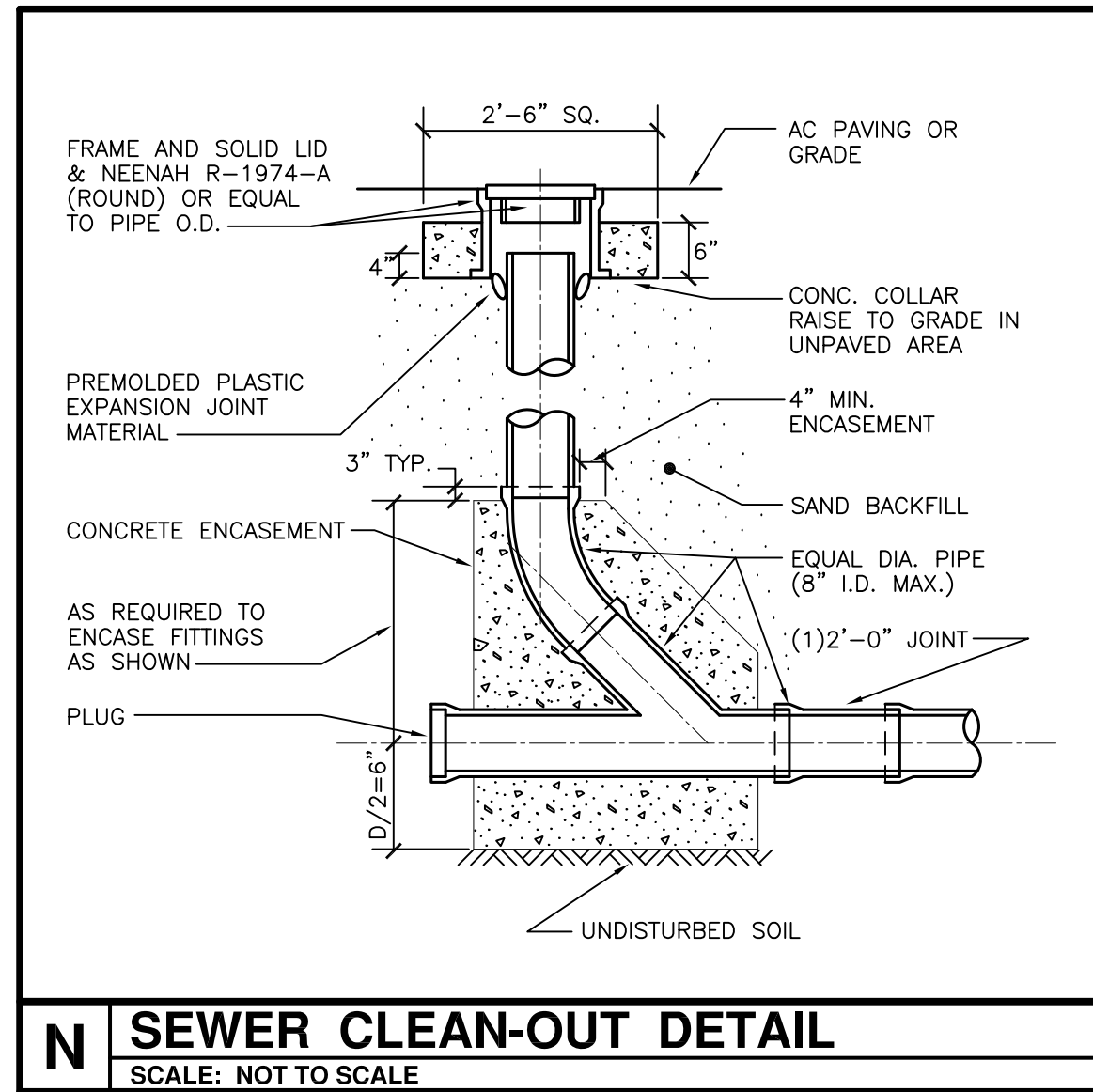
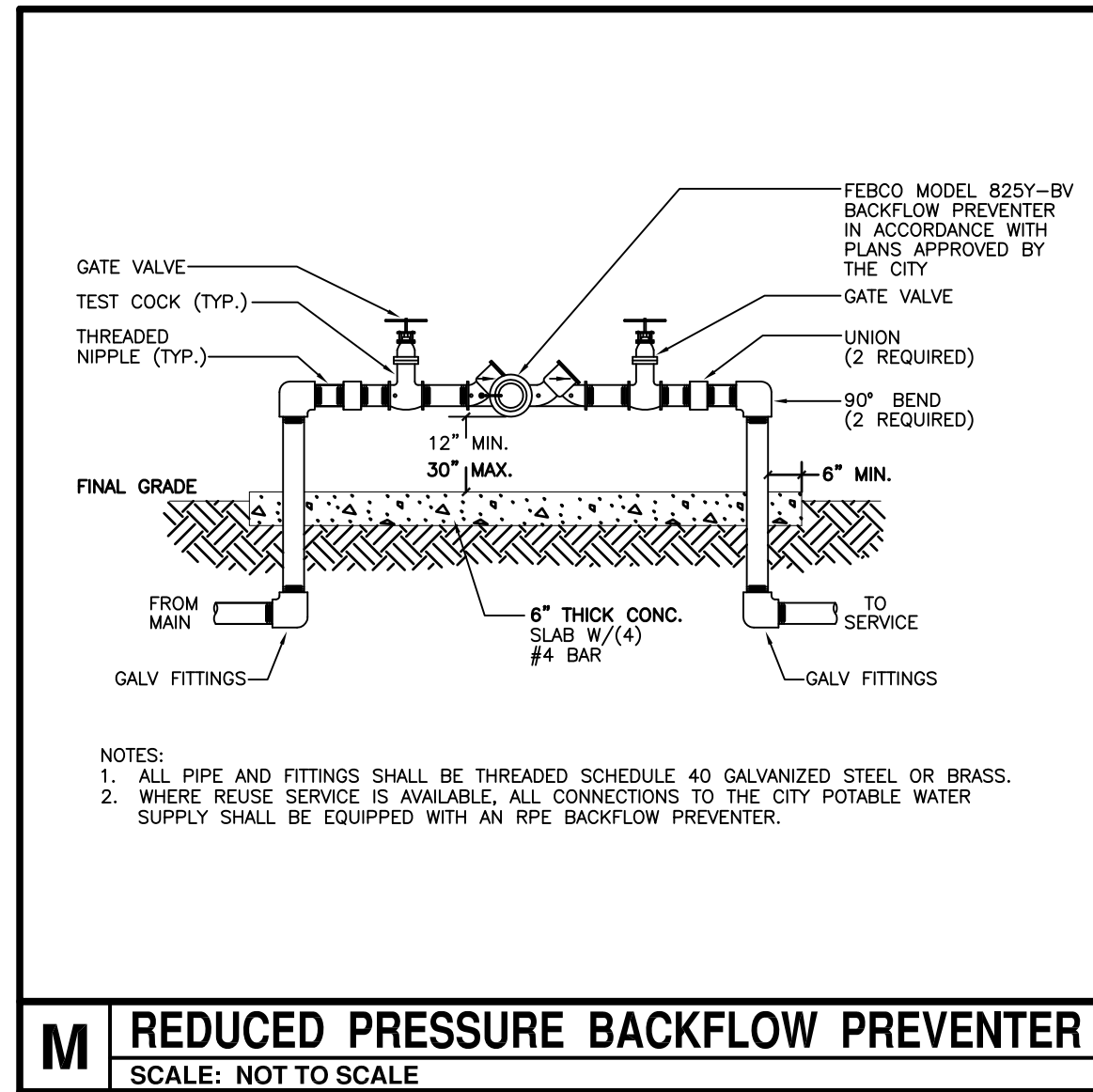
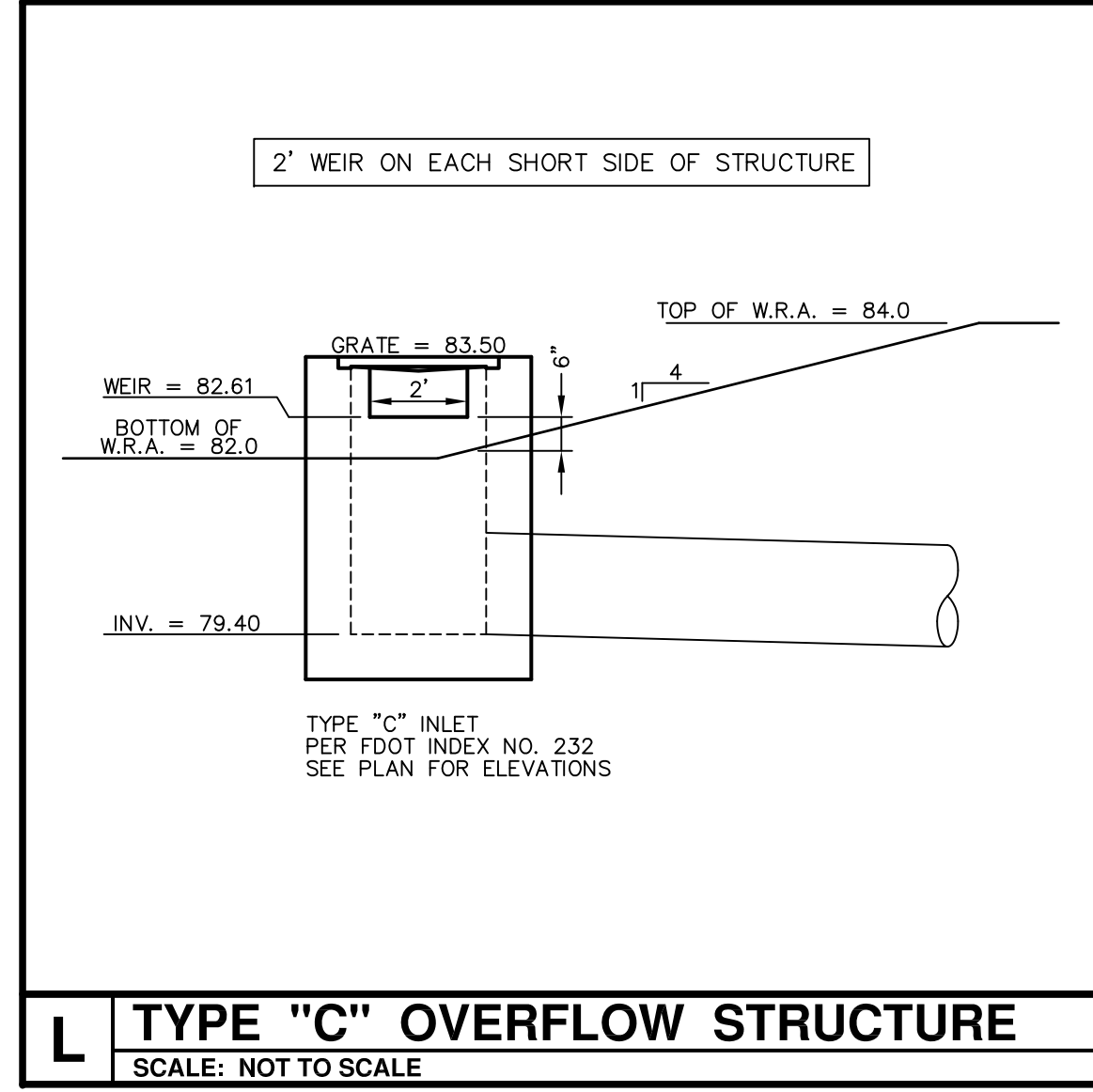
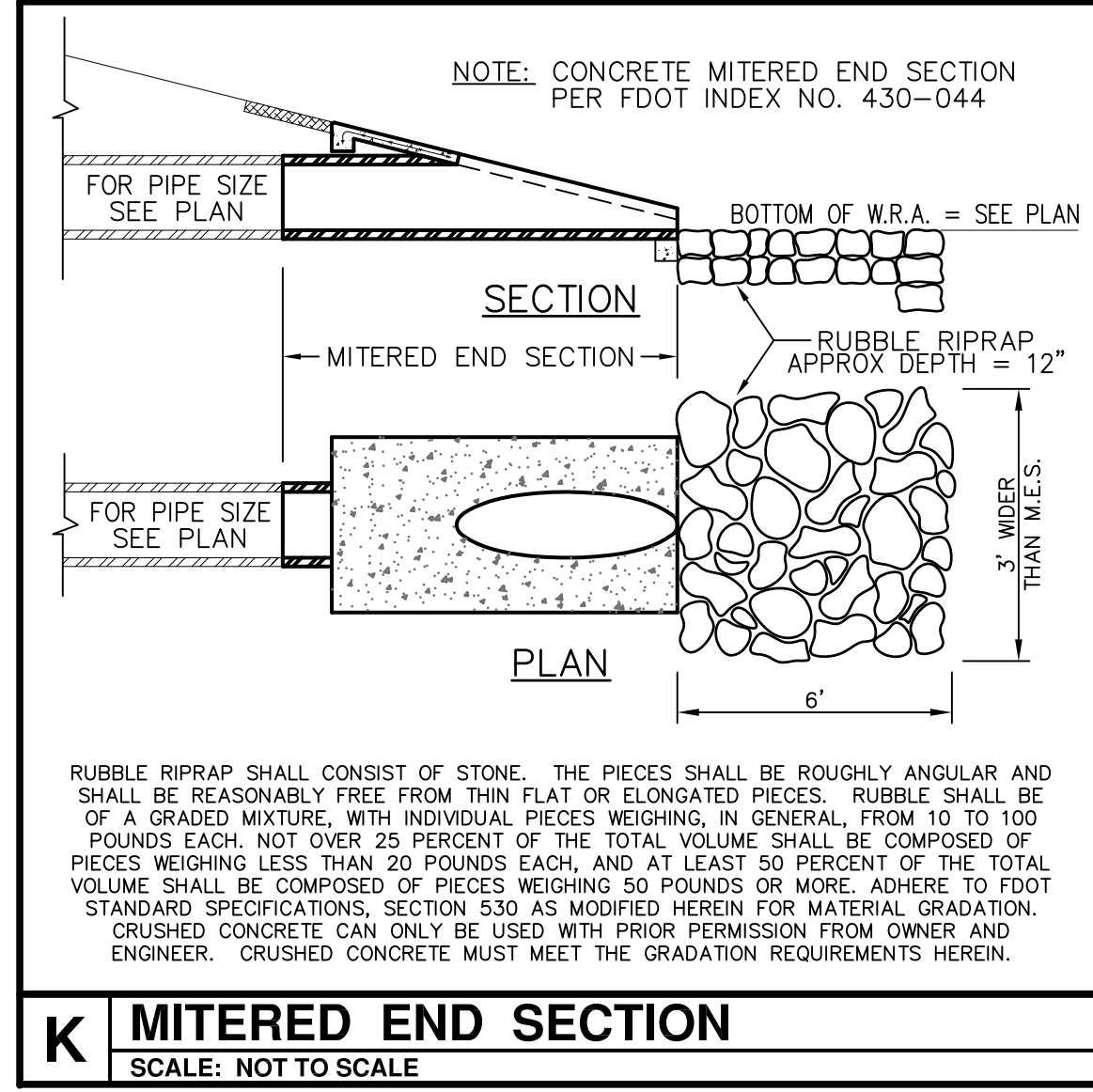
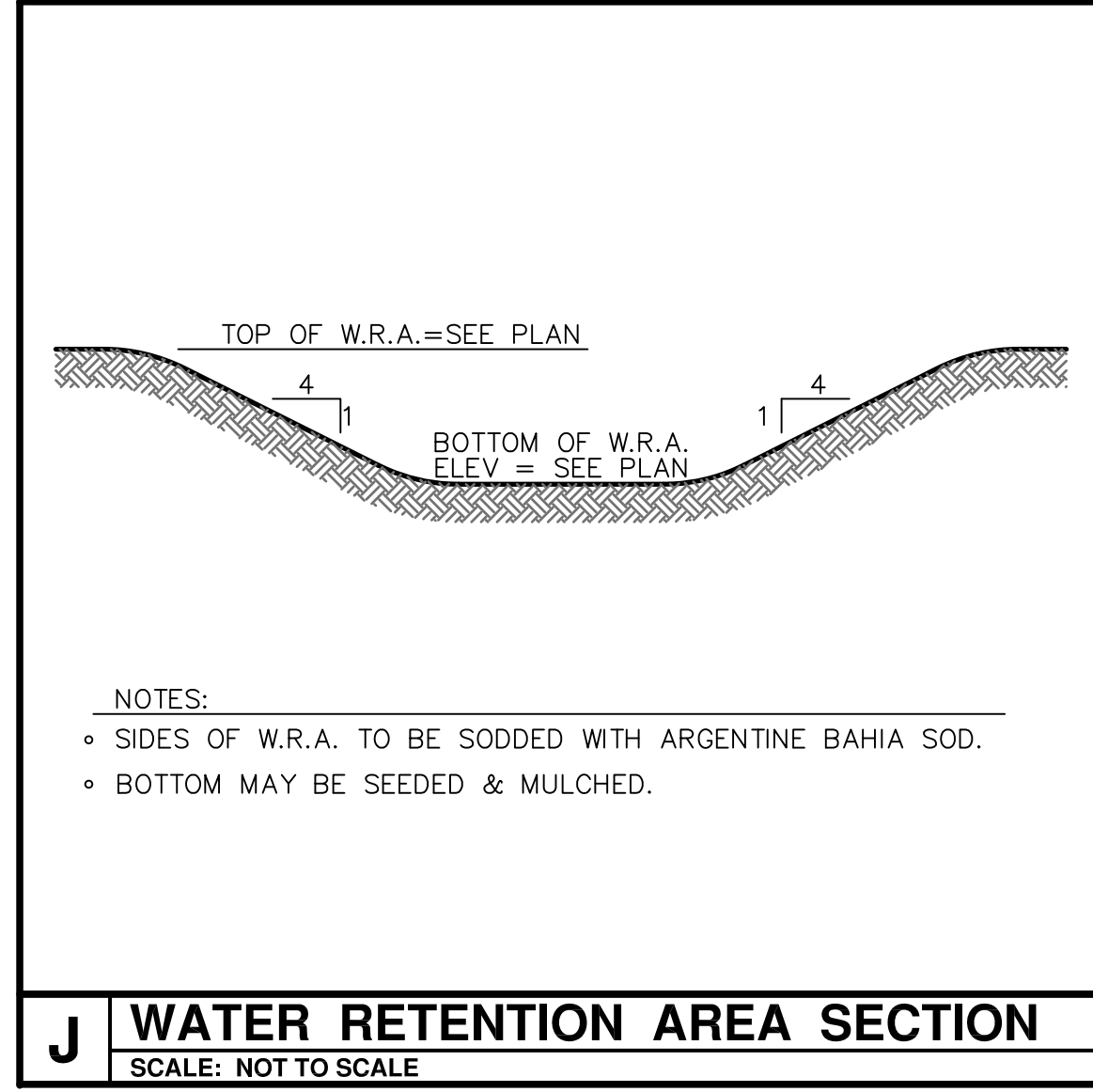
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DATE: 6/2/2021	PROJECT NO: 21.02	

UTILITY PLAN
GATEWAY STORAGE
 FLORIDA
 UMATILLA

SHEET NO.
C4.1

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 FILE: \21.02\Gateway Storage





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RIDDLE NEWMAN ENGINEERING INC. ESTABLISHED 1971

REV #5
REV #4
REV #3
REV #2
REV #1 REVISED PER ST. JOHNS 6/23/2021

DRAWN: R.S.H.
CHECKED: K.E.R.
SCALE: N.T.S.
DATE: 6/2/2021
PROJECT NO: 21.02

DETAILS
GATEWAY STORAGE
FLORIDA
UMATILLA

SHEET NO.
C5.2

FILE: \1.02\Gateway Storage

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Umatilla Public Library July 2021



2020/2021	Mar	April	May	June	July
Visits	5345	5340	3999	3945	4221
Checkouts	3109	3041	2262	2926	3019
E-Books (digital)	281	355	367	368	347
Total Circulation	3390	3396	2629	3294	3366
New Patrons	30	21	22	107	43
Computer use	161	143	115	150	135
Wireless	641	567	517	473	453
YA programs (attend)				81	
Adult programs					
Children's Programs				203	282
Study Hall	153	167			
Meeting room attend.					
Cash to city	421.52	270.63	357.18	446.35	307.80

Summer Reading Program Highlights

For the “Tails and Tales” Summer Reading Finale Week, Ralph Howard and his puppet, Nigel, performed “It’s a Tiger” by David LaRochelle. After the puppet show children played active games with teen volunteers and took home their reading prizes.

Kaitlyn Fleck and Ashley Williams directed the teen volunteers throughout the summer, encouraging them to read aloud to the children. In total 22 teen volunteers served a total of 151 hours.

On July 21 the Lake County Animal Shelter brought the Animal Van to the library parking lot, offering free pet adoptions on site.

Coming Soon

Once programs are able to fully resume we will be offering enhanced children’s programs and new adult programs including basic computer classes.

Range: First to Last	Use Type Range: First to Last	Open: Y
Violation Date Range: First to 08/12/21	User Code Range: First to Last	Completed: N
Ordinance Id Range: First to Last		Void: N
		Pending: N
Customer Range: First to Last	Inc Violations With Waived Fines: Yes	

Violation Id: 17-00139 Parcel Id: 1130662 Prop Loc: 195 BULLDOG LN

Description:

Conditions: Violation: Grass or weeds overgrown to a height of twelve inches or more from the ground.

Required Remedy: Mow the property and the adjoining public right-of-way.

Violation: Abandoned or junk vehicle on property within view of the public right-of-way.
(semi trailer and automobile in barn)

Required Remedy: (1) Repair and/or obtain valid vehicle registration for abandoned or junk vehicle(s) on property, or (2) Remove abandoned or junk vehicle(s) from property, or (3) move them to a position where they cannot be seen from the public right-of-way.

Definition: Vehicle means every device in, upon or by which, any person or property is or may be transported or drawn upon a highway, excepting devices used exclusively upon stationary rails or tracks.

Violation Id: 18-00048 Parcel Id: 1499429 Prop Loc: 128 CASSADY ST

Description:

Conditions: Unsafe structure inspection with Building Official Dallas Foss.

Violation Id: 20-00050 Parcel Id: 1130662 Prop Loc: 195 BULLDOG LN

Description:

Conditions: Violations:

Structures and premises not maintained in a clean, safe, secure and sanitary condition.

weeds or plant growth in excess of 10 inches.

Accessory structures, including detached garages, fences and walls, not maintained structurally sound and in good repair.

Exterior of structure is not structurally sound and sanitary so as not to pose a threat to the public health, safety or welfare.

Structural members are not being maintained free from deterioration. Porch awning on office failing, roofing components on barn are damaged or not secured properly.

window(s) not kept in sound condition, good repair and weather tight.

Exterior gate not maintained in good condition or tightly secured.

weeds or plant growth in excess of 12 inches.

Accumulation of rubbish, trash, debris, junk, or other unsightly or unsanitary matter on property.

Required Remedies:

Clean, secure and maintain the property so that it is safe and sanitary.

Mow the property and the adjacent right of way.

Remove, repair or replace failing components on all accessory structures. (may require a permit)

Address all structural issues to include roofing, porch awning and broken windows.

Ensure window is repaired to a weather tight status.

Repair the gate so that it can be tightly secured.

Remove all rubbish, trash, debris, junk, or other unsightly or unsanitary matter on property.

Violation Id: 20-00130

Parcel Id: 3818509

Prop Loc: 16603 LAKE SMITH ROAD

Description:

Conditions: Violation: Grass or weeds overgrown to a height of twelve inches or more from the ground on the right of way adjacent to the store property.

Required Remedy: Mow and continually maintain the property and adjacent public right-of-way.

Definition : Property means any lot, tract or parcel of land, or portion thereof , whether improved or unimproved, and adjacent rights-of-way within the boundaries of the city.

Note: The state mows the area between the swale and the road. The part you must maintain is the property plus the adjacent down slope from the store property to the swale/ditch.

*Repeat offense. To avoid a hearing and/or fines, please bring the property into compliance and maintain compliance continually.

Violation Id: 20-00135

Parcel Id: 1406838

Prop Loc: 310 N CENTRAL AVE

Description: work without permit

Conditions:

Violation Id: 21-00002 Parcel Id: 1705380 Prop Loc: 63 CAMELLIA ST

Description:

Conditions: Violation: Addition of porch without a permit.

Required Remedy: Obtain a permit for the porch addition from the Umatilla Building Department, located at 1 South Central Avenue, Umatilla, FL.

Violation Id: 21-00028 Parcel Id: 3269454 Prop Loc: 39 CAYMAN CIR

Description:

Conditions: UNLICENSED VEHICLE IN PUBLIC VIEW - ORANGE FORD ESCAPE

Violation Id: 21-00031 Parcel Id: 3622014 Prop Loc: 453 PEARL ST

Description:

Conditions: Violation: Chickens on property without permit.

Required Remedy: Obtain a permit for backyard chickens and have conditions inspected for compliance with code

Violation Id: 21-00033 Parcel Id: 1406994 Prop Loc: 555 GOLDEN GEM DR

Description: Fence and shed installed without permit.

Conditions: Violation: Fence installed without permit. Field fence affixed to post does not meet design standard/code requirements.

Required Remedy: Obtain permit for fence and bring it into code with proper design. (requires cross boards across field fence).

Violation Id: 21-00036 Parcel Id: 1128820 Prop Loc: 610 N CENTRAL AVE

Description:

Conditions: Violation: Grass or weeds overgrown to a height of twelve inches or more from the ground.

Required Remedy: Mow and trim the property and the adjoining public right-of-way.

Violation: Unsafe conditions. Siding and masonry joints including joints between the building envelope and the perimeter of windows, doors and skylights are not maintained, weather resistant or water tight. Metal siding peeled back and hanging by a few screws on south side of building.

Required Remedy: Repair siding such that it is weather resistant and water tight.

Violation Id: 21-00037 Parcel Id: 3544404 Prop Loc: 188 LORI CT

Description: Large dead tree on westernmost corner of property has been cut down but all the debris remains on site and in the right of way. Fence was damaged when they brought the tree down.

Conditions: Violation: Grass or weeds overgrown to a height of twelve inches or more from the ground.

Required Remedy: Mow the property and the adjoining public right-of-way.

Violation: Dead or diseased tree posing life and personal property safety hazard.

Required Remedy: Remove dead or diseased tree from property.

Violation Id: 21-00038 Parcel Id: 1499381 Prop Loc: 42 S TROWELL AVE

Description:

Conditions:

Violation Id: 21-00047 Parcel Id: 1499518 Prop Loc: 110 S TROWELL

Description:

Conditions: dead tree, overgrown grass, no maintenance, no maintenance on hedges and bushes, vegetation growing over sidewalk.

Violation Id: 21-00048 Parcel Id: 1130034 Prop Loc: 475 UMATILLA BLVD

Description:

Conditions: Violation: Grass or weeds overgrown to a height of twelve inches or more from the ground.

Required Remedy: Mow the property and the adjoining public right-of-way.

Violation: Accumulation of rubbish, trash, debris, dead trees, nonliving plant material, junk, or other unsightly or unsanitary matter on property within public view.

Required Remedy: Remove all rubbish, trash, debris, dead trees, nonliving plant material, junk, or other unsightly or unsanitary matter from the property.

Violation Id: 21-00049 Parcel Id: 3781589 Prop Loc: 351 N CENTAL AVE

Description:

Conditions: Violation: Accumulation of dead tree branches or other dead plant matter on property.

Required Remedy: Remove all nonliving plant material from the property.

Umatilla Fire Department Activity Report



Figure 1 Fire Department Logo

CITY OF UMATILLA FIRE DEPARTMENT

“Nature’s Hometown”

Report for: 4/13/2021 to 7/25/2021

Medical Calls: *120*

Total Calls: *287*

Fire/Accident/Other		County	
Fire	13	Automatic Aid Given	62
MVA	12	Automatic Aid Received	6
Public Assistance	16	Overlapping Calls	13
Automatic Fire Alarm	8		
Mutual Aid	0		
Fly Outs	0		
Technical Rescue	0		
Average Response Time	6 minutes		

Meetings and Activities

Crews completed 388 hours of training

A Note from the Fire Chief:

The department is in good shape responding to the current crisis.

Shane Lanoue

Fire Chief



UMATILLA POLICE DEPARTMENT PRESS RELEASE

WEEK OF July 13, 2021 – July 19, 2021

ARRESTS

7/14/2021	4:04 pm	Sheila Rayburn Umatilla	Marion County warrant for failure to appear in court.
7/16/2021	7:37 pm	Jose Sanches Olalde Hawthorne	Driving on an expired driver's license.
7/18/2021	6:49 pm	Ian Seilhamer Umatilla	False imprisonment and simple battery domestic.

CRIMINAL CITATIONS REQUIRING COURT APPEARANCE

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REPORTS FILED

7/15/2021	2:02 pm	A report of possible identity theft was filed by a resident of East Collins Street.	
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ACTIVITY BREAKDOWN

ARRESTS	3
DISPATCHED CALLS	69
TRAFFIC STOPS	9
TRAFFIC CITATIONS ISSUED	2



UMATILLA POLICE DEPARTMENT PRESS RELEASE

WEEK OF July 20, 2021 – July 26, 2021

ARRESTS

7/21/2021	11:00 pm	Ian Seilhamer Umatilla	Violation of pretrial release.
7/23/2021	8:00 am	Steven Vazquez Umatilla	Petit theft and trespass after warning at the Circle K. Resisting a law enforcement officer was also charged.
7/23/2021	7:30 pm	Jeremy Dicus Umatilla	Domestic battery.
7/23/2021	9:30 pm	Jeremy Jenkins Umatilla	Violation of probation.
7/25/2021	9:40 Pm	Kamden Harper Auburndale	Possession of MDMA (ecstasy).

CRIMINAL CITATIONS REQUIRING COURT APPEARANCE

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REPORTS FILED

7/21/2021	10:30 am	Officers took a report of a stolen bicycle from Wafford Street.
7/21/2021	2:08 pm	Officers took a report of a road range incident which involved criminal mischief which had occurred on North Central Avenue at the traffic light at Bulldog Lane.
7/25/2021	9:45 am	Officers responded to a fight at the Recovery Village.
7/26/2021	12:40 pm	Officers took a report of fraudulent activity on a bank account of a Umatilla resident.

ACTIVITY BREAKDOWN

ARRESTS	5
DISPATCHED CALLS	97
TRAFFIC STOPS	27
TRAFFIC CITATIONS ISSUED	6



UMATILLA POLICE DEPARTMENT PRESS RELEASE

WEEK OF July 28, 2021 – August 4, 2021

ARRESTS

07/28/2021	12:03 am	Kevin Hutcheson	Driving while license suspended with knowledge.

CRIMINAL CITATIONS REQUIRING COURT APPEARANCE

07/28/2021	12:03 am	Kevin Hutcheson	Driving while license suspended with knowledge
07/31/2021	9:06a m	Laura Cheatham	Driving while license suspended with knowledge.
08/01/2021	12:37a m	Jessica Glaeser	Driving while license suspended with knowledge
08/01/2021	4:57 am	Corey Ulmer	Attaching a tag not assigned to a vehicle

REPORTS FILED

07/28/2021	8:08a m	Officers took several reports of damaged mail boxes in the area of Trowell Ave.	
07/28/2021	10:15p m	Officers responded to a mental health incident in which a person fled into the Lake off of Guerrant St. The subject was recovered safely.	
07/29/2021	9:52 am	Officers responded to a property dispute at 478 N Kentucky Ave	



UMATILLA POLICE DEPARTMENT PRESS RELEASE

WEEK OF July 28, 2021 – August 4, 2021

ARRESTS

07/29/2021	9:20p m	Officers responded to a suspicious person in Cadwell Park.
07/30/2021	6:30p m	Officers took a report of a tenant at 25 Cayman Cir stealing a package.
07/30/2021	8:30 pm	Officers responded to a report of the sound of gunfire on Cassady St. Near Pine. No one was located and no shots were heard.
07/31/2021	12:32 am	Officers assisted Lake County in locating a missing person.
07/31/2021	3:38a m	Officers helped Fruitland park PD and Lake County Sheriffs office locate a stolen vehicle in the area of line st.
07/31/2021	3:15p m	Officers assisted Lake County in searching for a stolen Uhaul truck on Jim Daughtry rd.
07/31/2021	6:13p m	Officers assisted Lake County in searching for a domestic battery suspect on Umatilla Pl. in Dona Vista.

ACTIVITY BREAKDOWN

ARRESTS	5
DISPATCHED CALLS	97
TRAFFIC STOPS	27
TRAFFIC CITATIONS ISSUED	6