

UMATILLA CITY COUNCIL MEETING
February 16, 2021, 6:00 PM
Council Chambers, 1 S. Central Avenue, Umatilla, Florida

Masks are highly recommended and a limited supply will be available. Social distancing will be observed. Overflow seating in room behind Chambers.

Pledge of Allegiance and Prayer

Please silence your electronic devices

Call to Order

Roll Call

AGENDA REVIEW

MINUTES REVIEW

1 Minutes, City Council meeting February 2, 2021

MAYOR'S MESSAGE

PUBLIC COMMENT

At this point in the meeting, the Umatilla City Council will hear questions, comments and concerns from the public.

Please write your name and address on the paper provided on the podium. Zoning or code enforcement matters which may be coming before the Council at a later date should not be discussed until such time as they come before the Board in a public hearing. Comments, questions, and concerns from the public regarding items listed on this agenda shall be received at the time the Board addresses such items during this meeting. Public comments are generally limited to three minutes.

PUBLIC HEARINGS/ORDINANCES/RESOLUTIONS

- 2 City of Umatilla - Airport, 5.23 +/- acres – postponed from February 2, 2021 meeting
 - a Ordinance 2021 – A Small Scale Comprehensive Plan Amendment, second reading
 - b Ordinance 2021 – A – 1 Rezoning, second reading
- 3 Ordinance 2021-E Simulated Gambling Establishments, first reading
- 4 Resolution 2021-01 Crescent Street Vacation
- 5 Resolution 2021-02 Variance and Site Plan O'Reilly Auto Parts

GENERAL DISCUSSION

REPORTS

City Attorney

Mayor

Council Members

Staff

Police Activity Report – Police Chief Adam Bolton

Code Enforcement Report – Officer Misti Lambert

Library Report – Director Janet Lewis

for such purposes, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any invocation that may be offered before the official start of the Council meeting is and shall be the voluntary offering of a private citizen to and for the benefit of the Council pursuant to Resolution 2014-43. The views and beliefs expressed by the invocation speaker have not been previously reviewed or approved by the Council and do not necessarily represent their individual religious beliefs, nor are the views or beliefs expressed intended to suggest allegiance to or preference for any particular religion, denomination, faith, creed, or belief by the Council or the City. No person in attendance at this meeting is or shall be required to participate in any invocation and such decision whether or not to participate will have no impact on his or her right to actively participate in the public meeting.

The City of Umatilla is an equal opportunity provider and employer.

1 MINUTES, CITY COUNCIL MEETING
2 FEBRUARY 2, 2021, 6:00 P.M.
3 UMATILLA COUNCIL CHAMBERS, 1 S CENTRLA AVENUE, UMATILLA, FL 32784
4

5 Mayor Adcock lead the Pledge of Allegiance and Clerk Howard gave the Invocation.
6

7 Meeting called to order at 6:00 p.m.
8

9 IN ATTENDANCE: Mayor Kent Adcock; Vice Mayor Laura Wright; council members Katherine
10 Adams, Brian Butler, John Nichols; Public Works Director Aaron Mercer; Police Chief Adam
11 Bolton; Finance Director Regina Frazier; City Attorney Kevin Stone; City Manager Scott
12 Blankenship; City Clerk Karen Howard.
13

14 **AGENDA REVIEW**

15 **MOTION by Adams; SECOND by Wright to approve Agenda as presented. Motion carried.**
16

17 **MINUTES REVIEW**

18 1 Minutes, City Council meeting January 19, 2021

19 2 Minutes, City council meeting as Land Planning Agency, January 19, 2021
20

21 **MOTION by Wright; SECOND by Nichols, to approve the Minutes of the City Council meeting of**
22 **January 19, 2021 and the Minutes of the Land Planning Agency meeting on January 19, 2021.**
23 **Motion carried.**
24

25 **PUBLIC COMMENT**

26 None
27

28 **PUBLIC HEARINGS/ORDINANCES/RESOLUTIONS**

29 3 City of Umatilla – Airport, 5.23+/- acres

30 a Ordinance 2021-A, Small Scale Comprehensive Plan Amendment, second reading

31 b Ordinance 2021-A-1 Rezoning, second reading
32

33 **Attorney Stone** read the ordinances by title:
34

35 **ORDINANCE 2021 –A**
36

37 **AN ORDINANCE OF THE CITY OF UMATILLA, COUNTY OF LAKE, STATE OF FLORIDA, PURSUANT**
38 **TO THE PROVISIONS OF FLORIDA STATUTE 163.3187(1)(c); AMENDING THE LAND USE**
39 **DESIGNATION OF 5.23 ± ACRES OF LAND DESIGNATED SINGLE FAMILY MEDIUM DENSITY TO**
40 **TRANSPORTATION/AVIATION IN THE CITY OF UMATILLA FOR THE HEREAFTER DESCRIBED**
41 **PROPERTY OWNED BY THE CITY OF UMATILLA LOCATED NORTH OF ROSE STREET AND WEST**
42 **OF SKYLINE DRIVE; DIRECTING THE CITY MANAGER TO TRANSMIT THE AMENDMENT TO THE**
43 **APPROPRIATE GOVERNMENTAL AGENCIES PURSUANT TO CHAPTER 163, FLORIDA STATUTES;**
44 **AUTHORIZING THE CITY MANAGER TO AMEND SAID COMPREHENSIVE PLAN; PROVIDING FOR**

45 SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR AN
46 EFFECTIVE DATE.
47

48 **ORDINANCE 2021 –A - 1**
49

50 AN ORDINANCE OF THE CITY OF UMATILLA, COUNTY OF LAKE, STATE OF FLORIDA,
51 RECLASSIFYING 5.23 ± ACRES OF LAND ZONED CITY LOW DENSITY RESIDENTIAL (R-3) TO THE
52 DESIGNATION OF AIRPORT ZONING (AZ) IN THE CITY OF UMATILLA FOR THE HEREAFTER
53 DESCRIBED PROPERTY OWNED BY CITY OF UMATILLA, LOCATED NORTH OF ROSE STREET AND
54 WEST OF SKYLINE DRIVE; DIRECTING THE CITY MANAGER TO PROVIDE CERTIFIED COPIES OF
55 THIS ORDINANCE AFTER APPROVAL TO THE CLERK OF THE CIRCUIT COURT, THE LAKE COUNTY
56 MANAGER AND THE SECRETARY OF STATE OF THE STATE OF FLORIDA; PROVIDING FOR AN
57 EFFECTIVE DATE.
58

59 **MOTION by Wright; SECOND by Adams; make a motion for adoption of Ordinance 2021-A**
60 **Small Scale Comprehensive Plan Amendment, second reading.**
61

62 **Attorney Stone** said before voting on this he wished to point out this is a continuation of second
63 reading of the Small-Scale Comprehensive Plan and Rezoning of the smaller of the two airport
64 properties. The larger, 20 acre parcel that is subject to annexation is not being heard for Rezoning
65 tonight because the Large Scale comprehensive Plan Amendment was transmitted to the state
66 and various agencies. That requires a thirty day review for the agencies to respond and
67 objections to be made.
68

69 You may recall **Ms. Bonifay**, the attorney who spoke on behalf of the Miller family, and some of
70 the neighbors who would be affected also spoke during first reading. I was notified before our
71 meeting today that **Ms. Bonifay** was unable to attend because she has been hospitalized.
72

73 I told her I would let you know what had gone on between first reading and now and make a
74 slightly different recommendation.
75

76 I recommend that we table the final reading until the next meeting so they have a chance to be
77 here to hear what you are going to do. I did tell **Ms. Bonifay** that I would explain what we had
78 done so you can understand what we had done.
79

80 **Attorney Stone** said he recommends the Council moves forward with the 20 acre annexation
81 since that ordinance does not have anything to do with the conditions.
82

83 Between first reading and second reading, as a group, **Mr. Thompson, Mr. Blankenship**, several
84 of the neighbors, and I were involved in conversations to put into writing the conditions we talked
85 to you about at the last meeting. It is in an Exhibit that is in your packet. It talks about the
86 enhanced set-backs of 100 feet surrounding residential properties as depicted in Mr. Thompson's
87 drawings. The drawings also depicts additional buffers and landscaping and a berm.

88 We cannot commit to building all of the berm right now but would use existing dirt on the site to
89 start now and request money to expand it if and when we seek money to actually build something
90 there. Right now there is no vertical construction that we have funding to do. If there is we
91 would request funding to continue with the berm behind the Miller's property.
92 We wanted to make you aware of all the conditions now so where you come for the vote next
93 time you will be prepared.

94
95 There are some restrictions the city is prepared to place on this property. We would agree that
96 no aircraft propelled by jet engines would be allowed to be tenants in any hangars we might build
97 on this property. We would agree that no business or training school for helicopters would be
98 allowed to be a tenant on this property, or the city could not run this type of enterprise either.
99 Any aircraft repair or maintenance on this property could not have activity before 7 a.m. or after
100 8 p.m. Any further development or construction on the property would have to come back
101 before Council for approval before it could take place. In the past this has been done anyway.
102 There has been grant money, you have seen the plans but we are specifically saying the it would
103 have to come before Council in a public forum.

104
105 Those are the conditions agreed upon. There was one more thing we promised to do our best
106 on. We do not have a final answer but **Mr. Thompson** informed me we might be close to
107 modifying the landscape buffers so there would be some juniper type trees along Rose Street
108 and behind the **Miller's** property, separating those public spaces from the airport property. It
109 would be a continuation as best we can of the trees behind the Bryant hangars to provide more
110 screening and buffering along that road.

111
112 **Mr. Thompson** got some feedback from the landscaping contractor today that they would be
113 able to substitute some species to accomplish that.

114
115 The entire negotiation was easy from my perspective because I do not believe the neighbors
116 wanted anything that the Council was not willing to do.

117
118 My recommendation is to table the ordinances to a date certain of February 16th. The motion
119 will need to be amended.

120
121 **MOTION by Adams; SECOND by Nichols to table Ordinances 2021-A and 2021-A-1 to the**
122 **February 16th meeting. Motion carried.**

123
124 4 City of Umatilla – Airport 21.58 +/- acres
125 a Ordinance 2021-B Annexation, second reading

126
127 **Attorney Stone** read the ordinance by title:

128
129 **ORDINANCE 2021 – B**

130

131 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF UMATILLA, FLORIDA, AMENDING THE
132 BOUNDARIES OF THE CITY OF UMATILLA, COUNTY OF LAKE, STATE OF FLORIDA, IN
133 ACCORDANCE WITH THE PROCEDURE SET FORTH IN SECTION 171.044, FLORIDA STATUTES, TO
134 INCLUDE WITHIN THE CITY LIMITS APPROXIMATELY 21.58 ± ACRES OF LAND GENERALLY
135 LOCATED NORTH OF ROSE STREET AND WEST OF SKYLINE DRIVE; DIRECTING THE CITY
136 MANAGER TO PROVIDE CERTIFIED COPIES OF THIS ORDINANCE AFTER APPROVAL TO THE
137 CLERK OF THE CIRCUIT COURT, THE LAKE COUNTY MANAGER AND THE SECRETARY OF STATE
138 OF THE STATE OF FLORIDA; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE
139 DATE.

140
141 **City Attorney Stone** said this is a hearing. We have decided to recommend moving forward with
142 this parcel. The actual rezoning will be done at a later date once the review to done by the state.
143 We believe we will be able to hear the second readings at the first March meeting.

144
145 The conditions on the Rezoning of the larger parcel we expect will be identical as those on the
146 smaller parcel if it is the Council's pleasure to move in that direction.

147
148 We will carry forward testimony from prior hearings.

149
150 We give any affected parties the opportunity to testify. There was no public comment.

151
152 **MOTION by Butler; SECOND by Adams; for Ordinance 2021-B, Annexation, second reading.**
153 **AYES: Adams, Butler, Nichols, Wright, Adcock**
154 **Motion carried.**

155
156 5 Resolution 2021-03 Interlocal Agreement with MPO

157
158 **Attorney Stone** read the resolution by title:

159
160 **RESOLUTION 2021 - 03**

161 **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF UMATILLA, LAKE COUNTY, FLORIDA,**
162 **APPROVING A NEW INTERLOCAL AGREEMENT WITH THE LAKE-SUMTER METROPOLITAN**
163 **PLANNING ORGANIZATION; AUTHORIZING USE OF A THIRD PARTY TO PROVIDE TRAFFIC**
164 **IMPACT STUDY ANALYSIS REVIEWS AND GIS SERVICES WITHIN THE CITY OF UMATILLA;**
165 **PROVIDING FOR A SAVINGS CLAUSE; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN**
166 **EFFECTIVE DATE.**

167 **Public Works Director Aaron Mercer** said the MPO wishes to collaborate with the East Central
168 Florida Regional Planning Council to do the reviews of the traffic studies. They are doing that
169 now; we have not been charged because they had funds set aside for that. They are now out of
170 money and the new Interlocal should be approved.

171 Those are considered development pass-through fees and would not require additional city
172 funds. The applicant would be invoiced the costs.

173 The Interlocal Agreement runs in perpetuity and can be amended from time to time. Either party
174 can cancel. Staff recommends approval.

175 No public comment.

176 **MOTION by Adams; SECOND by Wright; to accept Lake Sumter Metropolitan Planning**
177 **Organization Interlocal Agreement Resolution 2021-03 Traffic impact. Motion carried.**

178 **NEW BUSINESS**

179 6 Bid Award – Aquatic Center Rehabilitation Project

180

181 **City Manager Blankenship** said Waterman construction was the top ranked. A contract with
182 modifications is presented in the amount of \$314,600.

183

184 **MOTION by Wright; SECOND by Butler; authorizing the City Manager to enter into contract**
185 **with Waterman Construction in the amount of \$314,600 for the Aquatic Center Rehabilitation**
186 **Project. Motion carried.**

187 **REPORTS**

188 **City Attorney Kevin Stone** noted that Crescent Street was advertised and will be on the
189 February 16th agenda. As far as I know it is on track.

190

191 **Mayor**

192 **Mayor Adcock** noted Lake Legislative Days has been cancelled due to COVID.

193

194 **Council members**

195 **Vice Mayor Wright** reported she attended Keep Lake Beautiful in Groveland with 41 volunteers
196 to clean up their city. She visited to Groveland Library and was impressed with the local
197 artwork that is featured in their building.

198

199 **Staff**

200 **Police Chief Bolton** reported the person involved in the shooting on Highland turned himself in.

201

202 **Public Works Director Mercer** reported:

203

- The pipe lining project at City Hall was completed last week and he was very happy with
204 the results.

205

- The Sewerline pre-bid meeting was held today and was well attended. The bid opening
206 is scheduled for February 25th. The project time frame is 365 days and will commence
207 soon. We will need to coordinate with FDOT and their resurfacing/sidewalk project
208 during our Sewerline project.

209

210 **Meeting adjourned 6:28 p.m.**

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Kent Adcock
Mayor

ATTEST:

Karen Howard, MMC
City Clerk

**CITY OF UMATILLA
CITY COUNCIL AGENDA ITEM STAFF REPORT**

DATE: February 10, 2021

MEETING DATE: February 16, 2021

SUBJECT: Ordinance 2021-A and Ordinance 2021-A-1, second reading

ISSUE: Small Scale Comprehensive Plan Amendment and Rezoning

BACKGROUND SUMMARY: The City of Umatilla has made application for a Small Scale, Comprehensive Plan Amendment and Rezoning on a 5.23+/- parcel adjacent to the Airport located North of Rose Street and West of Skyline Drive. This parcel, purchased by the city using FDOT grant funding, had been annexed into the city many years ago.

Ordinance 2021-A Small Scale Comprehensive Plan Amendment. The proposed comprehensive plan amendment is from City of Umatilla Single Family Medium Density to Transportation/Aviation. This parcel is currently located in the Airport Overlay Zone.

Ordinance 2021-A-1 Rezoning. This will change the zoning on the parcel from R-3 Low Density Residential to AZ Airport Zoning. Airport Zoning is intended to provide for appropriate land uses for aircraft-related operations and the direct support of such operations.

Staff met with affected residents on a few occasions to discuss concerns and Exhibit B and Figure 1 attached to Ordinance 2021-A-1 memorializes the items agreed to by both parties.

The footnote at the bottom of Exhibit B, Conditions to rezoning, has been removed: "The conceptual plan depicts the use of pine trees for landscaping material. Owner will endeavor to substitute cedar trees for the pine trees as landscaping material to provide for more continuous screening." The revised Landscaping Plan reflects a change from Slash Pine to Spartan Juniper.

The Conditions to Rezoning agreed upon include:

- Enhanced setbacks of 100 feet from all properties which have a residential use
- Landscape buffer and man made berms
- Airport restrictions: aircraft with jet engines will not be allowed to be based on the property; no helicopter business or training school will be allowed to be based on the property; hours of operation for aircraft repair or maintenance operations shall not begin before 7:00 a.m. nor end after 8:00 p.m.; no further airport expansion or development on the property shall take place unless approved by the City Council after adequate public notice and opportunity to comment.

STAFF RECOMMENDATIONS: Two motions:

- 1) Adoption of Ordinance 2021-A, Small Scale Comprehensive Plan Amendment, second reading;
- 2) Adoption of Ordinance 2021-A-1, Rezoning, second reading.

FISCAL IMPACTS: N/A

COUNCIL ACTION:

January 5, 2021 Meeting:

MOTION by Adams; SECOND by Nichols; to table adoption of Ordinance 2021-A Small Scale Comprehensive Plan Amendment first reading until January 19, 2021. Motion carried.

January 19, 2021 Meeting:

MOTION by Butler; SECOND by Nichols; to approve Ordinance 2021-A, Small Scale Comprehensive Plan Amendment, first reading.

MOTION by Adams; SECOND by Wright; to accept adoption of Ordinance 2021-A-1, Rezoning, first reading.

Roll call:

Ayes: Adams, Butler, Nichols, Wright, Adcock

Both motions carried.

February 2, 2021 Meeting:

MOTION by Adams; SECOND by Nichols to table Ordinances 2021-A and 2021-A-1 to the February 16th meeting. Motion carried.

Reviewed by City Attorney Yes No N/A

Reviewed by City Engineer Yes No N/A

**CITY OF UMATILLA
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

SSCPA AND REZONING

Owner: City of Umatilla

General Location: North of Rose Street and West of Skyline Drive

Number of Acres: 5.23 ± acres

Existing Zoning: R-3

Proposed Zoning: Airport Zoning (AZ)

Existing Land Use: Single Family Medium Density

Proposed Land Use: Transportation/Aviation

Date: November 16, 2020

Description of Project

Existing parcel owned by the City which is proposed for a small scale comp plan amendment to Transportation/Aviation and rezoning to Airport Property (AZ). The existing property is vacant. This is the first small scale amendment for year 2021.

	Surrounding Zoning	Surrounding Land Use
North	County Ag and R-1	Urban Low Density
South	City R-3	City SF Low Density
East	County Ag and R-1	Urban Low
West	City R-3	City SF Medium Density

Assessment

Comprehensive Plan Amendment

The proposed comprehensive plan amendment is from Lake County Urban Low Density (4 units/acre) to City of Umatilla Transportation/Aviation (100 based aircraft and 4 units/acre). The site does not contain wetlands or waterbodies and is not located within 100 year flood zone. The environmental assessment conducted indicated the presence of gopher tortoise burrows and offers habitat for other listed/protected species. Prior to development, an environmental assessment and regulatory permitting will be required.

Small scale amendments are presumed to have de minimis impacts to public facilities.

Rezoning

The proposed rezoning to City Airport Zoning is consistent with the City's comprehensive plan and land development regulations. AZ permitted uses are as follows:

- Administrative offices for businesses primarily engaged in aeronautical activities
- Aeronautical dusting and spraying operations
- Aeronautical radio and communication facilities
- Aeronautical training establishments
- Aircraft charter and taxi service
- Aircraft sales
- Fire stations
- Research and Development
- Sales of aviation petroleum products utilizing and ramp service

Recommendation

Comp Plan Amendment

It is recommended that the proposed comprehensive plan amendment be approved and the amendment meets the following FLU policies, among others:

Policy 1-2.1.1 (18): Land Use Designations, and Maximum Intensity and Density

Transportation/Aviation – Maximum intensity standard is 100 based aircraft. Allowable uses are airport facilities and ancillary uses. Residential dwelling units may be permitted, not to exceed 4 units per acre. Residential units must support the Umatilla Municipal Airport.

Policy 1-1.10.2: Promote Orderly, Compact Growth.

Land use patterns delineated on the Future Land Use Map shall promote orderly, compact growth. The City shall encourage growth and development in existing developed areas where public facilities and services are presently in place and in those areas where public facilities can provide the most efficient service. Land shall not be designated for growth and development if abundant undeveloped land is already present within developed areas served by facilities and services.

Airport

Policy 10-1.1.2: Land Use in Umatilla.

The city assures that compatible development is located in areas adjacent to the airport by designating the appropriate density/intensity land uses in the airport vicinity. The land development regulations and restrictions address controlling the height of natural growth and development adjacent to the airport.

Policy 10-1.3.1: Coordination with Comprehensive Planning

The City of Umatilla shall coordinate its comprehensive planning process, including subsequent amendments to the Comprehensive Plan, with the adopted airport master plan and future updates for Umatilla Municipal Airport in order to achieve environmentally and economically sound development of

aviation facilities, and to provide adequate capacity for existing and future demand for aviation facilities and services consistent with the master plan.

Rezoning

Staff recommends approval of the rezoning.

ORDINANCE 2021 –A

AN ORDINANCE OF THE CITY OF UMATILLA, COUNTY OF LAKE, STATE OF FLORIDA, PURSUANT TO THE PROVISIONS OF FLORIDA STATUTE 163.3187(1)(c); AMENDING THE LAND USE DESIGNATION OF 5.23 ± ACRES OF LAND DESIGNATED SINGLE FAMILY MEDIUM DENSITY TO TRANSPORTATION/AVIATION IN THE CITY OF UMATILLA FOR THE HEREAFTER DESCRIBED PROPERTY OWNED BY THE CITY OF UMATILLA LOCATED NORTH OF ROSE STREET AND WEST OF SKYLINE DRIVE; DIRECTING THE CITY MANAGER TO TRANSMIT THE AMENDMENT TO THE APPROPRIATE GOVERNMENTAL AGENCIES PURSUANT TO CHAPTER 163, FLORIDA STATUTES; AUTHORIZING THE CITY MANAGER TO AMEND SAID COMPREHENSIVE PLAN; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a petition has been received from the City of Umatilla as owner, requesting that real property within the city limits of the City of Umatilla be assigned a land use designation from Single Family Medium Density to City Transportation/Aviation under the Comprehensive Plan for the City of Umatilla;

WHEREAS, the amendment would facilitate airport development and is in compliance with the policies of the City’s comprehensive plan; and

WHEREAS, the required notice of the proposed small scale comprehensive plan amendment has been properly published as required by Chapter 163, Florida Statutes; and

WHEREAS, the Local Planning Agency for the City of Umatilla have reviewed the proposed amendment to the Comprehensive Plan and have made recommendations to the City Council of the City of Umatilla.

WHEREAS, the City Council reviewed said petition, the recommendations of the Land Planning Agency, staff report and any comments, favorable or unfavorable, from the public and surrounding property owners at a public hearing duly advertised;

WHEREAS, the City has held such public hearings and the records of the City provide that the owners of the land affected have been notified as required by law; and,

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF UMATILLA, FLORIDA, AS FOLLOWS:

Section 1: Purpose and Intent.

That the land use classification of the following described property, being situated in the City of Umatilla, Florida, shall hereafter be designated from Single Family Medium Density to Transportation/Aviation as depicted on the map attached hereto as Exhibit “A”, and as defined in the Umatilla Comprehensive Plan.

LEGAL DESCRIPTION: That part of Lot 5, lying within the City Limits of Umatilla, Florida, of Whitcomb’s Subdivision, according to the plat thereof recorded in Plat Book 1, Page 74, public records of Lake County, Florida.

Alternate Key # 1105170

- A. That a copy of said Land Use Plan Amendment is filed in the office of the City Manager of the City of Umatilla as a matter of permanent record of the City, and that matters and

49 contents therein are made a part of this ordinance by reference as fully and completely as
50 if set forth herein, and such copy shall remain on file in said office available for public
51 inspection.
52

53 B. That the City Manager, after passage of this Ordinance, is hereby directed to indicate the
54 changes adopted in this Ordinance and to reflect the same on the Comprehensive Land
55 Use Plan Map of the City of Umatilla.
56

57 **Section 2: Severability.**

58 If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void,
59 unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall
60 remain in full force and effect.
61

62 **Section 3:** All ordinances or parts of ordinances in conflict herewith are hereby repealed.
63

64 **Section 4: Effective Date.**

65 This Ordinance shall become effective 31 days after its adoption by the City Council. If this
66 Ordinance is challenged within 30 days after its adoption, it may not become effective until the
67 state land planning agency or Administrative Commission, respectively, issues a final order
68 determining that this Ordinance is in compliance.
69
70

71 **PASSED AND ORDAINED** in regular session of the City Council of the City of Umatilla, Lake County, Florida,
72 this _____ day of _____, 2021.
73

74 _____
75 Kent Adcock, Mayor
76 City of Umatilla, Florida
77

78 ATTEST:

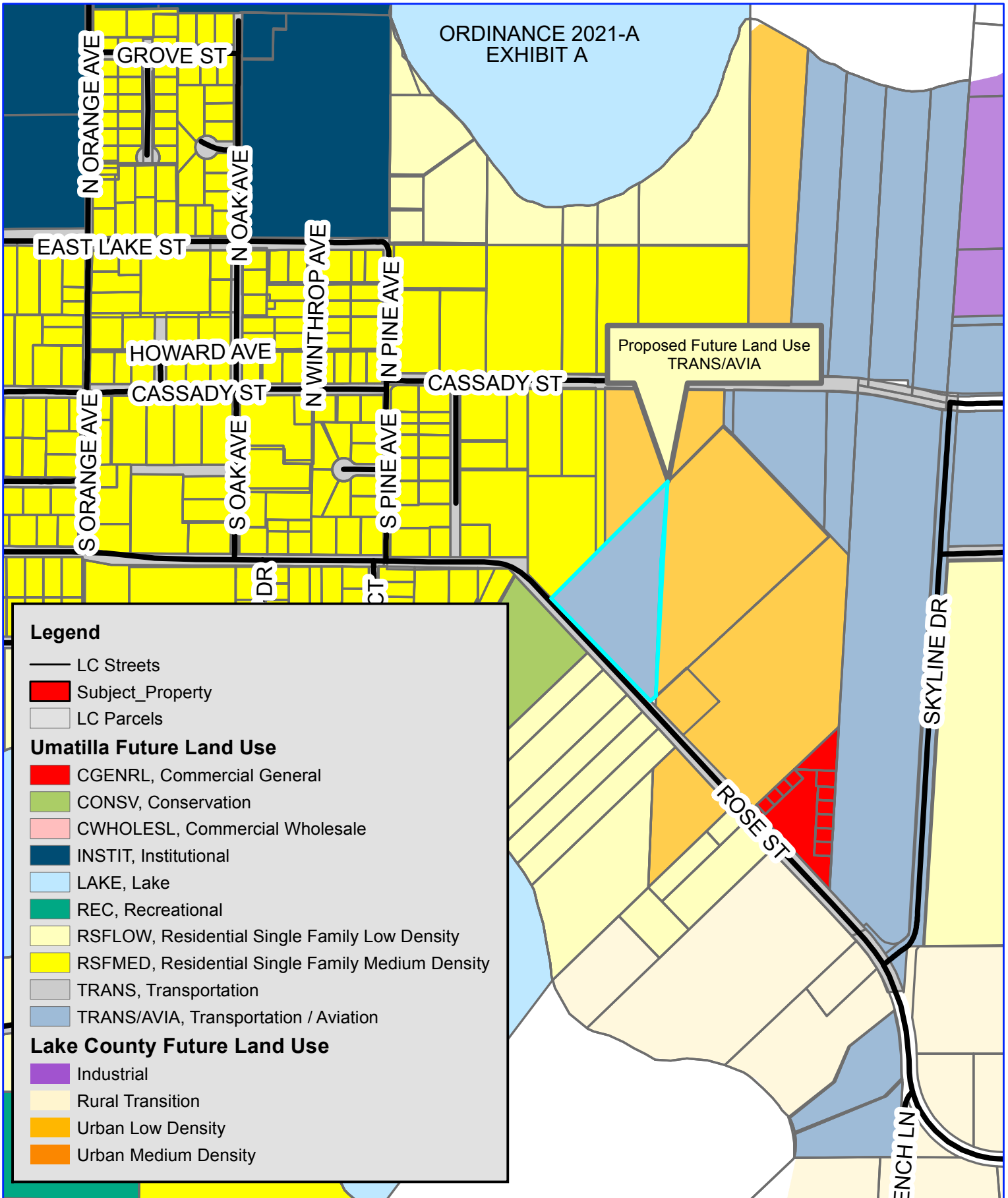
Approved as to Form:

79
80
81 _____
82 Karen H. Howard, MMC
83 City Clerk
84

Kevin Stone
City Attorney

85
86 Passed First Reading _____
87 Passed Second Reading _____
88 (SEAL)
89

ORDINANCE 2021-A
EXHIBIT A



Legend

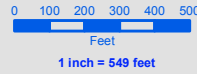
- LC Streets
- Subject_Property
- LC Parcels

Umatilla Future Land Use

- CGENRL, Commercial General
- CONSV, Conservation
- CWHOLESL, Commercial Wholesale
- INSTIT, Institutional
- LAKE, Lake
- REC, Recreational
- RSFLOW, Residential Single Family Low Density
- RSFMED, Residential Single Family Medium Density
- TRANS, Transportation
- TRANS/AVIA, Transportation / Aviation

Lake County Future Land Use

- Industrial
- Rural Transition
- Urban Low Density
- Urban Medium Density



**City of Umatilla
Airport Property**

Lake County, Florida
Proposed Future Land Use Map

Project No.: 399-20-06
File Name: Prop FLU1105170.mxd
Project Name: City of Umatilla
Project Manager: Sherie L
Creation Date: November 6th, 2020
Created By: C.Manno

LPG Urban & Regional Planners, Inc.
1162 Camp Avenue, Mount Dora, Florida 32757
Office: (352) 385-1940 / Fax: (352) 383-4824

ORDINANCE 2020 –A - 1

AN ORDINANCE OF THE CITY OF UMATILLA, COUNTY OF LAKE, STATE OF FLORIDA, RECLASSIFYING 5.23 ± ACRES OF LAND ZONED CITY LOW DENSITY RESIDENTIAL (R-3) TO THE DESIGNATION OF AIRPORT ZONING (AZ) IN THE CITY OF UMATILLA FOR THE HEREAFTER DESCRIBED PROPERTY OWNED BY CITY OF UMATILLA, LOCATED NORTH OF ROSE STREET AND WEST OF SKYLINE DRIVE; DIRECTING THE CITY MANAGER TO PROVIDE CERTIFIED COPIES OF THIS ORDINANCE AFTER APPROVAL TO THE CLERK OF THE CIRCUIT COURT, THE LAKE COUNTY MANAGER AND THE SECRETARY OF STATE OF THE STATE OF FLORIDA; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a petition has been submitted by City of Umatilla as Owner, to rezone approximately 5.23 acres of land from City Low Density Residential (R-3) to City of Umatilla Airport Zoning (AZ);

WHEREAS, the Petition bears the signature of all required parties; and

WHEREAS, the required notice of the proposed rezoning has been properly published;

WHEREAS, the City Council reviewed said petition, the recommendations of staff report and any comments, favorable or unfavorable, from the public and surrounding property owners at a public hearing duly advertised;

WHEREAS, upon review, certain terms pertaining to the development of the above described property have been duly approved, and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Umatilla, Florida, as follows:

Section 1: Purpose and Intent.

That the zoning classification of the following described property, being situated in the City of Umatilla, Florida, shall hereafter be designated as Airport Zoning (AZ) as defined in the Umatilla Land Development Regulations and as depicted on the map attached hereto as Exhibit "A" and incorporated herein by reference.

LEGAL DESCRIPTION: That part of Lot 5, lying within the City Limits of Umatilla, Florida, of Whitcomb’s Subdivision, according to the plat thereof recorded in Plat Book 1, Page 74, public records of Lake County, Florida.

Alternate Key # 1105170

Section 2: Zoning Classification.

That the property shall be designated as AZ, Airport Zoning, in accordance with Chapter 6, Section 2(p) of the Land Development Regulations of the City of Umatilla, Florida.

Section 3: The City Manager, or designee, is hereby directed to amend, alter, and implement the official zoning map of the City of Umatilla, Florida, to include said designation consistent with this Ordinance.

Section 4: Conditions. The rezoning pursuant to this ordinance is subject to and conditioned upon the conditions set forth on "Exhibit B", which is incorporated herein by reference.

49 **Section 5: Severability.**

50 If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void,
51 unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall
52 remain in full force and effect.

53
54 **Section 6: Effective Date.**

55 This Ordinance shall become effective immediately upon passage by the City Council of the City of
56 Umatilla.

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58
59 **PASSED AND ORDAINED** in regular session of the City Council of the City of Umatilla, Lake County, Florida,
60 this _____ day of _____, 2021.

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62
63 _____

64 Kent Adcock, Mayor
65 City of Umatilla, Florida

66
67
68 ATTEST: Approved as to Form:

69
70
71 _____

72 Karen H. Howard, MMC
73 City Clerk

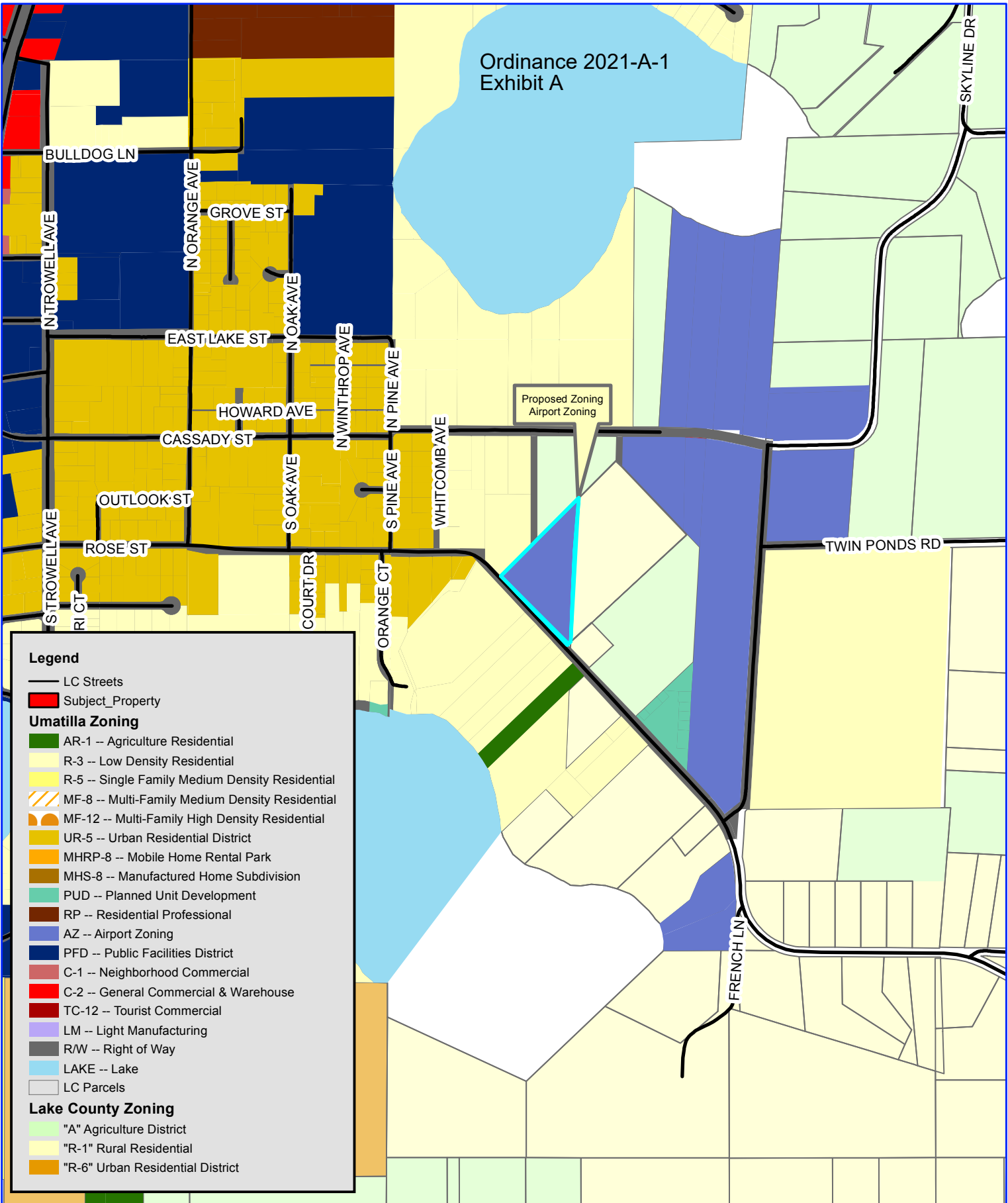
74
75
76 _____

77 Kevin Stone
78 City Attorney

79 Passed First Reading _____
80 Passed Second Reading _____
81 (SEAL)

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Ordinance 2021-A-1
Exhibit A



Legend

- LC Streets
- Subject_Property
- Umatilla Zoning**
- AR-1 -- Agriculture Residential
- R-3 -- Low Density Residential
- R-5 -- Single Family Medium Density Residential
- MF-8 -- Multi-Family Medium Density Residential
- MF-12 -- Multi-Family High Density Residential
- UR-5 -- Urban Residential District
- MHRP-8 -- Mobile Home Rental Park
- MHS-8 -- Manufactured Home Subdivision
- PUD -- Planned Unit Development
- RP -- Residential Professional
- AZ -- Airport Zoning
- PFD -- Public Facilities District
- C-1 -- Neighborhood Commercial
- C-2 -- General Commercial & Warehouse
- TC-12 -- Tourist Commercial
- LM -- Light Manufacturing
- RW -- Right of Way
- LAKE -- Lake
- LC Parcels
- Lake County Zoning**
- "A" Agriculture District
- "R-1" Rural Residential
- "R-6" Urban Residential District



1 inch = 824 feet

**City of Umatilla
Airport Property**
Lake County, Florida
Proposed Zoning Map

Project No.: 399-20-06
File Name: Prop Zoning1105170.mxd
Project Name: Airport Property
Project Manager: Sherie L
Creation Date: November 6th, 2020
Created By: C.Manno

LPG Urban & Regional Planners, Inc.
1162 Camp Avenue, Mount Dora, Florida 32757
Office: (352) 385-1940 / Fax: (352) 383-4824

Ordinance 2021-A-1
Exhibit – B
Conditions to Rezoning

As used herein, the word “Property” when capitalized means the land subject to the rezoning ordinance to which this Exhibit is attached. As used herein, the word “Owner” means the owner of the Property, and its successors and assigns, it being the intent of the Council that these conditions are part of the zoning for the Property and shall run with the land and be binding on the Owner’s successors in interest, if any.

1. Enhanced Setbacks. The minimum required distance a building constructed on the Property must be set back from the property line, as measured perpendicular to the property line, shall be 100 feet from all property lines which separate the subject property from adjoining properties which presently have a residential use. The setback requirement set forth herein shall apply regardless of, whether such residential property directly abuts the Property or is separated by right-of-way. The building setback lines are depicted on Figure 1 attached hereto and incorporated herein by reference. The Council finds that Figure 1 accurately depicts the location of the setback based on its determination of which properties presently have a residential use for the purposes of these conditions, and the setback lines are not intended to change owing to changes in the use of adjoining properties.

2. Buffers/ Landscaping. The Owner shall, within six months of this ordinance becoming effective, plant certain vegetation including trees, shrubs, and groundcover. Specifically, the Owner shall install and maintain an area of landscape materials in accordance with the conceptual plan attached hereto as Figure 1.

Owner will, within six months of this ordinance becoming effective, begin installation of a manmade berm approximately 6 feet in height with material that is currently available to Owner in accordance with the conceptual plan in Figure 1. The Council anticipates that any construction of buildings on the Property will be funded through grants from state and federal agencies including the Florida Department of Transportation. If and when the Owner requests funding to construct any buildings on the property, the Owner shall include in its application a request for funding to install, and if approved, shall undertake to install, appropriate landscaping and/or other appropriate screening. At that time, the Owner shall specifically pursue funding for expansion of the manmade berms to be installed within the setback and continuing in the same height and dimensions as the existing berm installed by Owner, subject to technical feasibility. Figure 1 illustrates a concept of where a berm might be located in the event that buildings are constructed on the Property.

3. Airport Restrictions. The following restrictions on use shall apply throughout the Property.

a. No aircraft propelled by jet engines shall be allowed to be based on the Property, and the Owner must include in any lease or franchise to any third party for all or a portion of the Property a prohibition on the storage or maintenance of jet aircraft.

b. No helicopter business or training school shall be allowed to be based on the Property, and the Owner must include in any lease or franchise to any third party for all or a portion of the Property a prohibition on the location or operation of commercial helicopter businesses helicopter training schools on the Property.

c. The hours of operation for any aircraft repair or maintenance operation on the Property shall not begin before 7:00 a.m. and shall not end after 8:00 p.m. This restriction is not intended to prohibit emergency repair or maintenance.

d. No further airport expansion or development onto the Property shall take place unless approved by City Council after adequate public notice and opportunity to comment.

SCALE: 1" = 60'



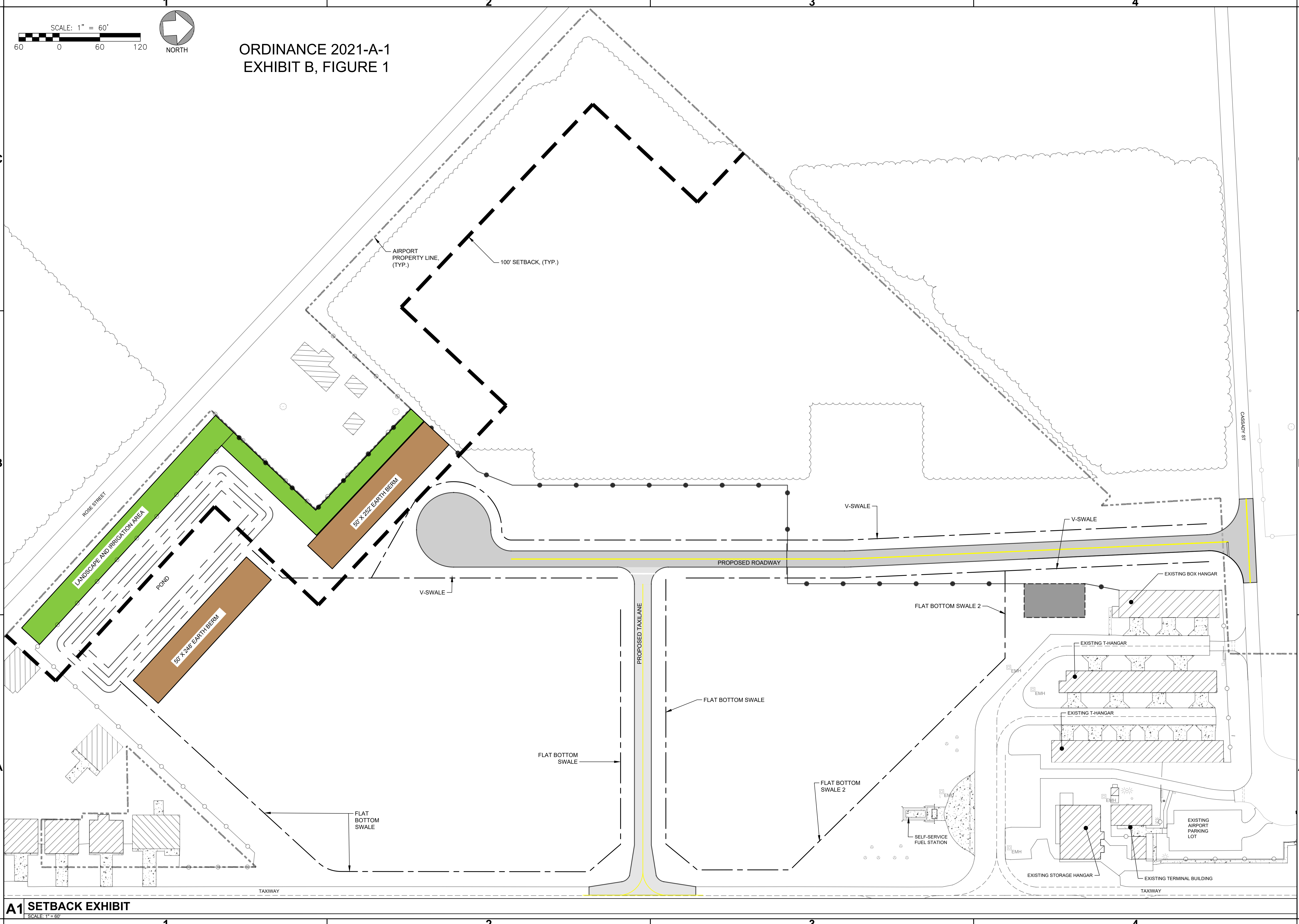
ORDINANCE 2021-A-1 EXHIBIT B, FIGURE 1



SETBACK EXHIBIT

gai consultants
EB 9951
618 SOUTH ST. SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

SHEET
EXHIBIT

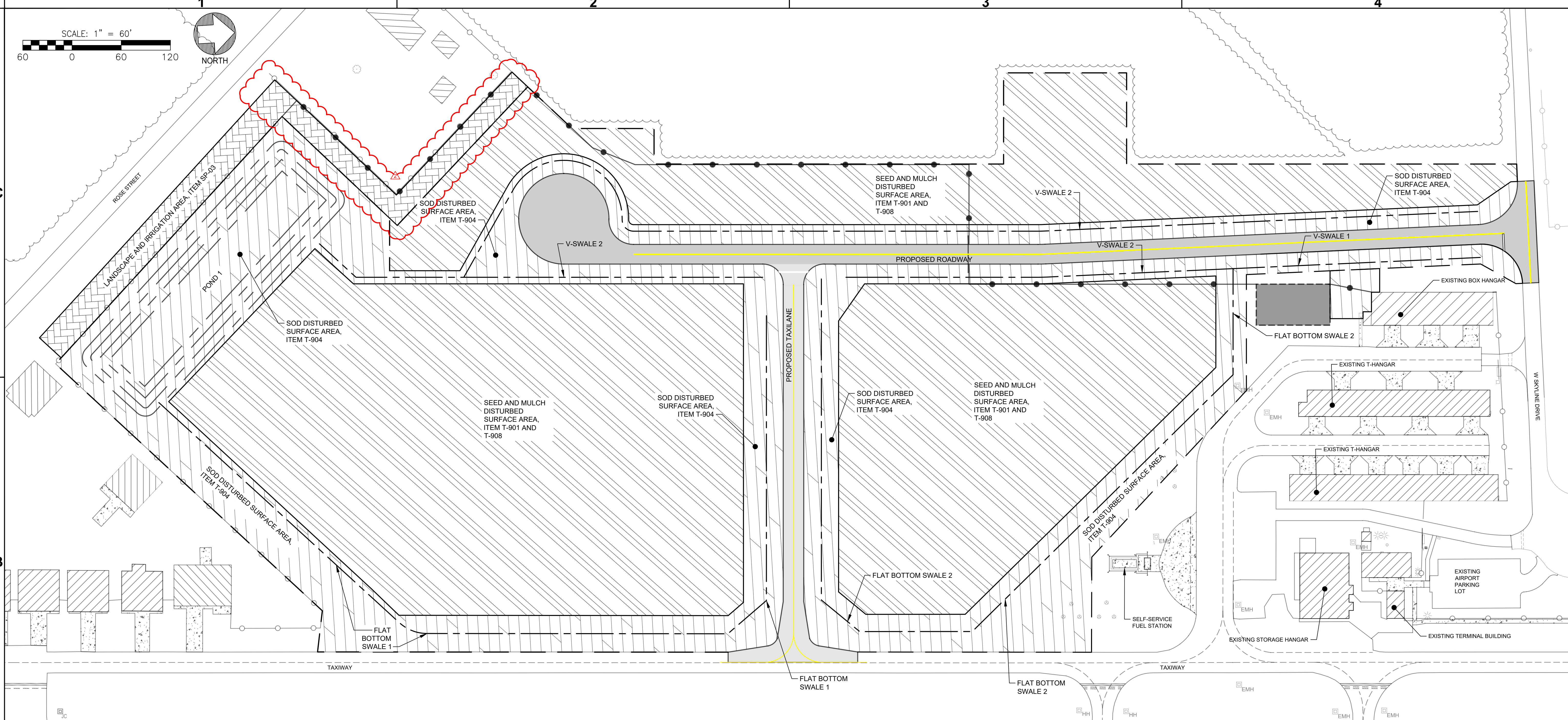
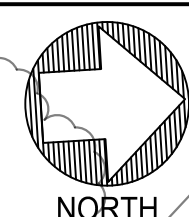


A1 SETBACK EXHIBIT

SCALE: 1" = 60'

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SCALE: 1" = 60'



B1 RESTORATION PLAN
SCALE: 1" = 60'

- RESTORE DISRUPTED SURFACE AREA. APPLY ITEM T-901 SEEDING AND ITEM T-908 MULCHING
- LANDSCAPING AREA, SEE SHEET CG503 FOR MORE INFORMATION.
- RESTORE SWALE OR POND SURFACE AREA, AND DISRUPTED SURFACE AREA. APPLY ITEM T-904 SODDING.

- RESTORATION BOUNDARY
- SWALE CENTERLINE

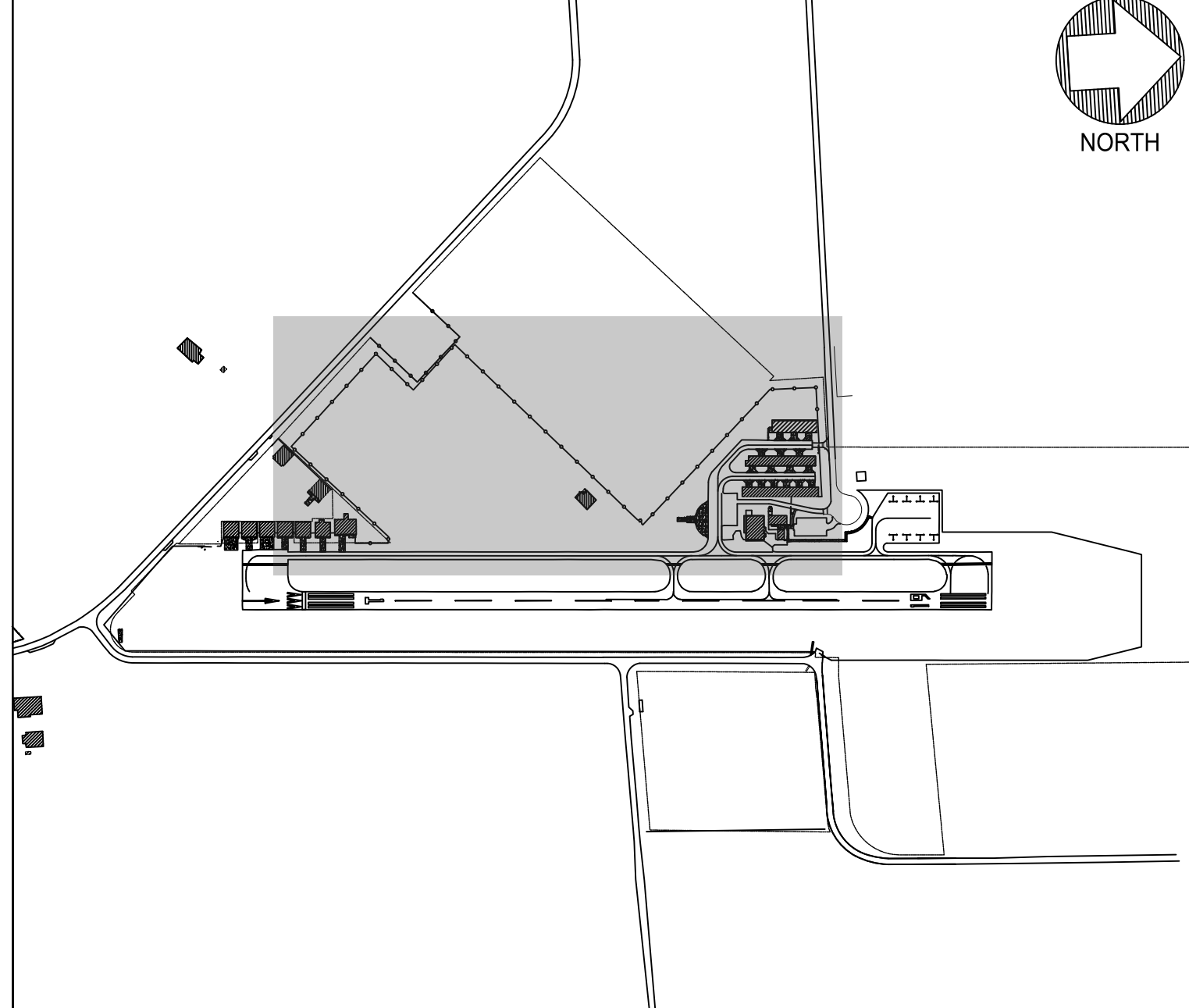
A1 SHEET LEGEND
SCALE: NOT TO SCALE

- NOTES:**
- ALL AREAS TO BE EXCAVATED SHALL BE STRIPPED OF VEGETATION AND TOPSOIL IN ACCORDANCE WITH SECTION P-152.2.2 OF THE CONTRACT SPECIFICATIONS. STRIPPING SHALL BE CONSIDERED A NECESSARY AND INCIDENTAL ITEM OF THE WORK INVOLVED AND SHALL NOT BE MEASURED SEPARATELY FOR PAYMENT.
 - FOR PROPOSED WORK ITEMS OUTSIDE OF THE RESTORATION LIMITS SHOWN, RESTORATION SHALL BE INCIDENTAL TO THE LINE ITEM ASSOCIATED WITH THE CORRESPONDING WORK. ALL AREAS SHALL BE RESTORED EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 - CONTRACTOR SHALL IMPLEMENT A LARGE SCALE SPRINKLING SYSTEM AND WILL BE REQUIRED TO WATER ALL RESTORATION AREAS, WHETHER INSIDE THE GRADING LIMITS OR OUTSIDE. WATERING OF THE RESTORATION AREAS WILL CONTINUE UNTIL ALL SOD, SEED, AND MULCH SHOW POSITIVE GROWTH. MINIMUM WATERING PER DAY SHALL BE AS REQUIRED BY THE ENGINEER.
 - THE CONTRACTOR SHALL SUPPLY ALL SPRINKLERS OR METHODS OF WATERING ALL RESTORATION AREAS. WATER SOURCE SHALL BE DETERMINED BY THE CONTRACTOR. CITY OF UMATILLA POTABLE WATER MAIN MAY BE USED IF ELECTED. HOWEVER, A METER WILL BE PROVIDED BY THE CITY AND THE CONTRACTOR SHALL PAY THE CITY PER GALLON OF WATER USED. ALTERNATIVELY, ANY ON SITE GROUND WATER WELL MAY BE UTILIZED. HOWEVER, PUMPS, HOSES, OR OTHER MEANS OF WATER RETRIEVAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - NO ADDITIONAL PAYMENT TO THE CITY SHALL BE REQUIRED FOR USE OF THE GROUND WATER WELL. NO SEPARATE MEASUREMENT PAYMENT SHALL BE MADE FOR WATERING. IT SHALL BE NECESSARY AND INCIDENTAL TO RESTORATION ACTIVITIES.

A2 RESTORATION NOTES
SCALE: NOT TO SCALE

RESTORATION SURFACE AREAS		
TYPE	AREA	UNIT
DRY RETENTION POND 1	4,885	SY
V-SWALE 1	540	SY
V-SWALE 2	4,340	SY
FLAT BOTTOM SWALE 1	4,900	SY
FLAT BOTTOM SWALE 2	5,765	SY
SEED AND MULCH DISTURBED SURFACE AREA	54,945	SY

A3 RESTORATION AREA TABLE
SCALE: NOT TO SCALE



A4 KEY PLAN
SCALE: NOT TO SCALE



NO.	DATE	DESCRIPTION
1	11/14/2021	ISSUE #2

SCALE: AS SHOWN
DATE: OCTOBER 2020
DRAWN: KNM, ALB
CHECKED: MBH
APPROVED: DJN

RESTORATION PLAN
HANGAR INFRASTRUCTURE DEVELOPMENT
UMATILLA MUNICIPAL AIRPORT (X23), LAKE COUNTY, FLORIDA

SEAL

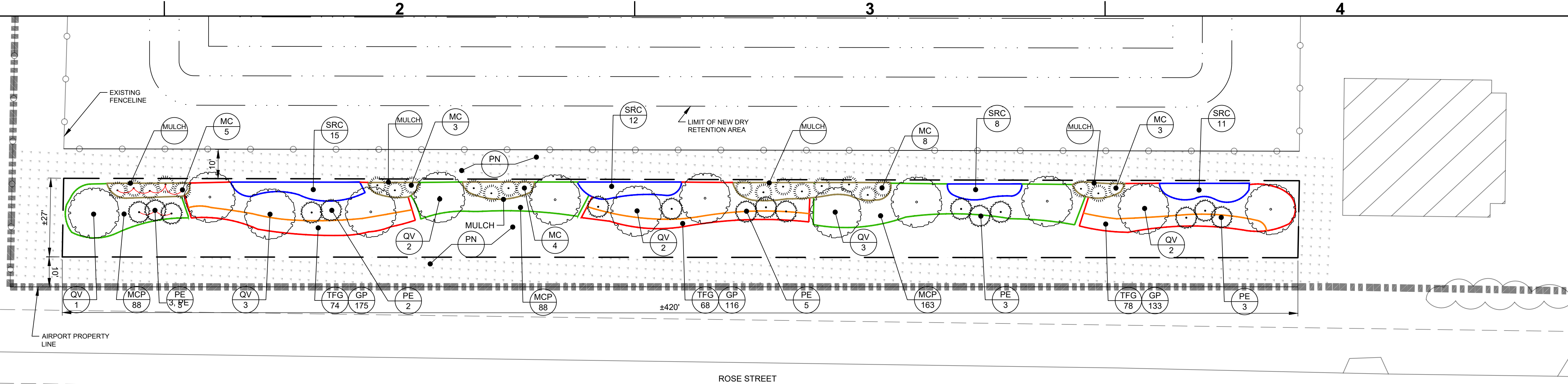
DANIEL J. NICKOLS, JR., P.E.
Lic. No. 78634

gai consultants
EB 9951
618 SOUTH ST. SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A170433.08
SHEET
CG501

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SCALE: 1" = 20'



C1 LANDSCAPING PLAN

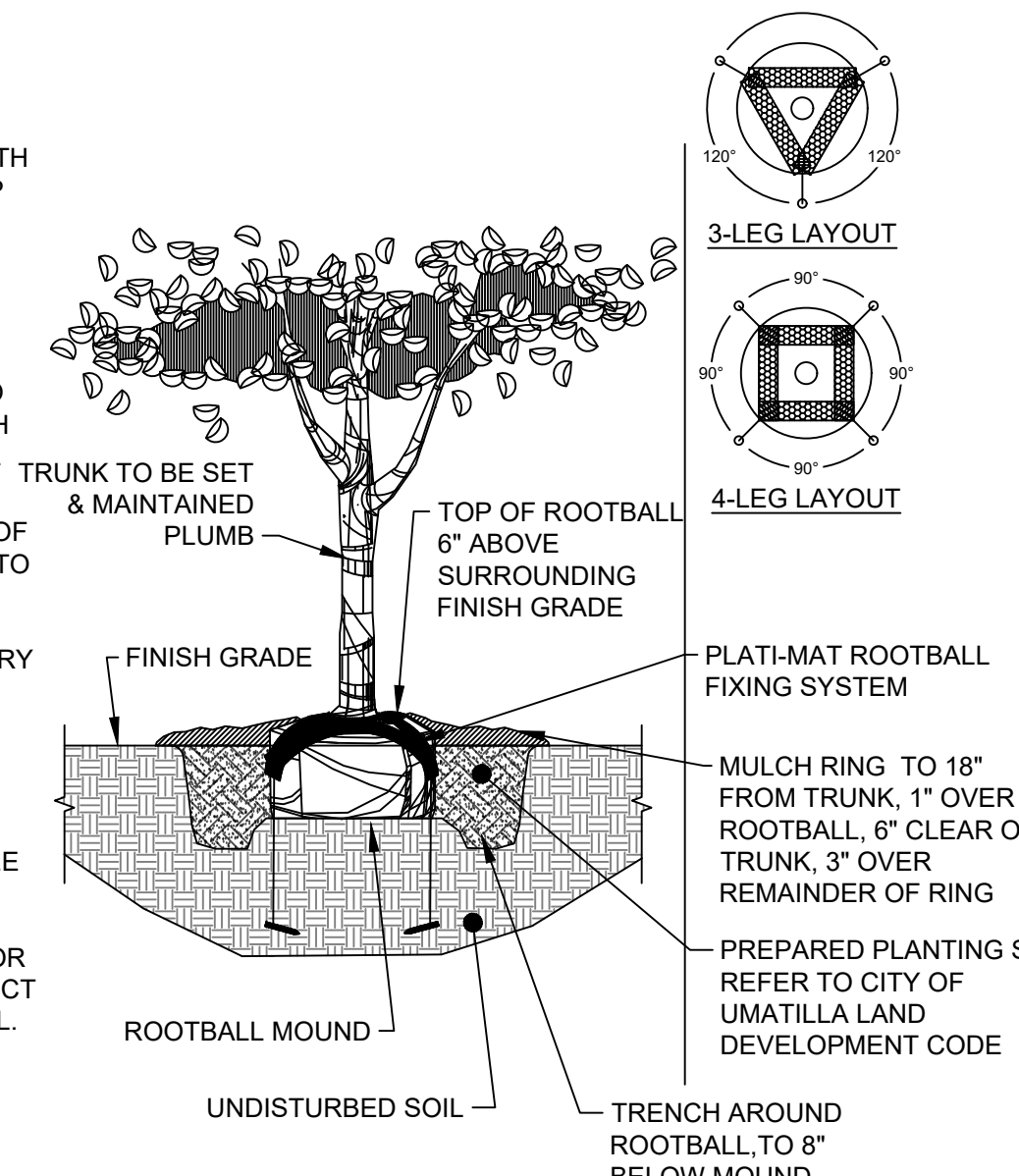
PLANT SCHEDULE

PLANT SYMBOL	PLANT TAG	QTY	BOTANICAL NAME	COMMON NAME	SIZE SPECIFICATION	SPACING	IRRIGATION USE	NOTES
TREES:								
	QV	13	QUERCUS VIRGINIANA	LIVE OAK	4" CAL., 22' HT. X 8" W.	AS SHOWN	LOW	
	PE	16	PINUS ELLIOTTI IMPROVED	SPARTAN JUNIPER SLASH PINE	15 GAL., 6' HT.	AS SHOWN	LOW	
	MC	23	MYRICA CERIFERA	WAX MYRTLE	15 GAL., 5' HT. X 4" W. FTG.	AS SHOWN	LOW	
SHRUBS AND GROUND COVER:								
	GP	424	GAILLARDIA PULCHELLA	BLANKET FLOWER	1 GAL., 10" HT., FULL	18" O.C.	LOW	LOCATE RANDOMLY IN THE FORWARD 5' OF THE TFG PLANTING BEDS
	MCP	339	MUHLENBERGIA CAPILLARIS	GULF MUHLY GRASS	3 GAL., 24" HIT. X 24" W.	30" O.C.	LOW	
	SRC	46	SERENOA REPENS 'CINEREA'	SILVER SAW PALMETTO	3 GAL., 15" HT. X 15" W	48" O.C.	LOW	
	TFG	220	TRIPSACUM FLORIDANUM	FLORIDA GAMA GRASS	3 GAL., 21" HT. X 18" W, FULL	36" O.C.	LOW	
SOD AND MULCH:								
	PN	**	PASPALUM NOTATUM	ARGENTINE BAHIA	12" X 18" SOLID SOD PIECES, MINIMUM			
	MULCH	**		PINE STRAW MULCH	3" DEPTH AFTER WETTING AND LIGHT TAMPING			

- LANDSCAPE NOTES:**
- ALL INSTALLATION OF PLANT MATERIAL SHALL COMPLY WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THIS WORK.
 - THE CONTRACTOR SHALL REVIEW ARCHITECTURE/ENGINEERING PLANS TO BECOME THROUGHLY FAMILIAR WITH SURFACE AND SUBSURFACE UTILITIES.
 - THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
 - ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO.1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
 - ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. CONTAINER SIZE SHALL BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
 - IF PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN, THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE CONTRACTOR TO REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED AND FOUND TO BE ACCEPTABLE.
 - PRIOR TO INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. SUBMIT DATED PHOTOGRAPHS OF TREE MATERIAL AND SPECIMEN PLANT MATERIAL TO THE OWNER'S REPRESENTATIVE FOR REVIEW.
 - ALL PLANTING BEDS SHALL BE TOP-DRESSED WITH A 3" LAYER OF PINE BARK MULCH (FINES). CONTRACTOR TO SUBMIT SAMPLE FOR APPROVAL. ALL TREES SHALL HAVE A 3" THICK, 24" RADIUS (FROM THE TRUNK) MULCH RING PLACED AROUND THE BASE OF THE TRUNK.
 - SHRUB AND GROUND COVER BED QUANTITIES ARE INDICATED ON THE PLANT LIST. PLANT ACCENT SHRUBS AND TREES AS SHOWN ON THE LANDSCAPE PLANTING PLANS WHEN INDIVIDUAL PLANTS ARE DELINEATED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS, AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF TREES OR SHRUBS SHALL BE DONE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. IF INADEQUATE VERTICAL DRAINAGE IS ENCOUNTERED, THE CONTRACTOR SHALL SUBMIT RECOMMENDATIONS FOR PROVIDING ADEQUATE DRAINAGE TO THE OWNER'S REPRESENTATIVE.
 - PEG SOD ON SLOPES GREATER THAN 3:1.
 - CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS IF NECESSARY TO MAINTAIN PLANT VITALITY, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.
 - CONTRACTOR SHALL RE-GRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
 - MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF SUBSTANTIAL COMPLETION. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, MULCHING, REPLACEMENTS OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL.
 - UPON COMPLETION OF ALL LANDSCAPING, AN INSPECTION FOR SUBSTANTIAL COMPLETION OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR SCHEDULING TRIPS TO VIEW ALL LARGER PLANT MATERIALS.
 - THE CONTRACTOR SHALL SUBMIT WRITTEN GUARANTEE OR SURVIVABILITY OF ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
 - PLANT PHOTOGRAPHS: CONTRACTOR SHALL PROVIDE REPRESENTATIVE PHOTOGRAPHS OF ALL PLANT MATERIALS SPECIFIED OVER 7 GALLONS IN SIZE WITH A MEASURING ROD INCLUDED IN THE PHOTOGRAPH. AT OWNER'S OPTION, CONTRACTOR MAY BE REQUIRED TO COORDINATE WITH OWNER TAGGING TRIPS TO VIEW ALL LARGER PLANT MATERIALS.
 - ALL CERTIFICATES, REPORTS, AND SAMPLES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE OWNER A MINIMUM OF TWO WEEKS PRIOR TO THE INSTALLATION OF ANY OF THE MATERIALS. CONTRACTOR SHALL NOT BEGIN WORK UNTIL ALL SUBMITTALS HAVE BEEN APPROVED BY THE OWNER. SUBMITTALS REQUIRED BUT NOT LIMITED TO THE FOLLOWING:
 - A. EXISTING SOIL ANALYSIS AND SAMPLE
 - B. PREPARED SOIL ANALYSIS AND SAMPLE
 - C. MULCH SAMPLE
 - D. EROSION CONTROL FABRIC SAMPLE AND PRODUCT SHEET
 - E. PRE- AND POST-EMERGENCE HERBICIDE
 - F. WEED ERADICATION TREATMENT FOR LAWN GRASS
 - G. FOLIAR SPRAY FERTILIZER(S)
 - H. PLANT SAMPLES AND/OR PHOTOGRAPHS
 - I. DRAINAGE GRAVEL SAMPLE
 - J. LIST OF PERSONNEL, QUALIFICATIONS, AND SCHEDULE
 - K. GUYING METHODOLOGIES
 - L. LEAF ANTI-DESICCANT SPRAY
 - M. MAINTENANCE MANUAL
 - IRRIGATION SHALL BE NECESSARY AND REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AND PROVIDE AN IRRIGATION DESIGN FOR THE LANDSCAPING SHOWN. DRIP IRRIGATION SHALL BE REQUIRED AND WATER SOURCE SHALL BE THE 8" WATER MAIN LOCATED ADJACENT TO THE LANDSCAPING AREA. IRRIGATION PLANS SHALL BE SUBMITTED TO THE ENGINEER AND THE OWNER FOR REVIEW. THE COST ASSOCIATED WITH IRRIGATION DESIGN, IMPLEMENTATION AND INSTALLATION SHALL BE INCIDENTAL TO ITEM SP-03, LANDSCAPING AND IRRIGATION.
 - MEASUREMENT AND PAYMENT FOR ALL WORK ITEMS ASSOCIATED WITH THE LANDSCAPING AND IRRIGATION SHALL BE MADE IN ACCORDANCE WITH ITEM SP-03, LANDSCAPING AND IRRIGATION.

NOTES:

- EXCAVATE OVERALL PLANTING HOLE TO DEPTH NECESSARY TO SET TOP OF ROOTBALL 6" ABOVE SURROUNDING FINISH GRADE. THIS IS THE ROOTBALL MOUND ELEVATION.
- EXCAVATE A TRENCH TO AN ADDITIONAL 8" DEPTH AROUND THE ROOTBALL MOUND.
- ASSURE PERCOLATION OF PLANTING HOLE PRIOR TO SETTING THE TREE. NOTIFY THE OWNER IN WRITING IF SATISFACTORY PERCOLATION IS NOT ACHIEVED.
- CONSULT PLATIPUS-US FOR APPROPRIATE PLAT-MAT PRODUCT SPEC/KIT FOR EACH TREE SIZE IN THE PROJECT SCOPE. PROVIDE A PRODUCT SUBMITTAL FOR EACH SEPARATE PRODUCT SPEC/KIT FOR APPROVAL.

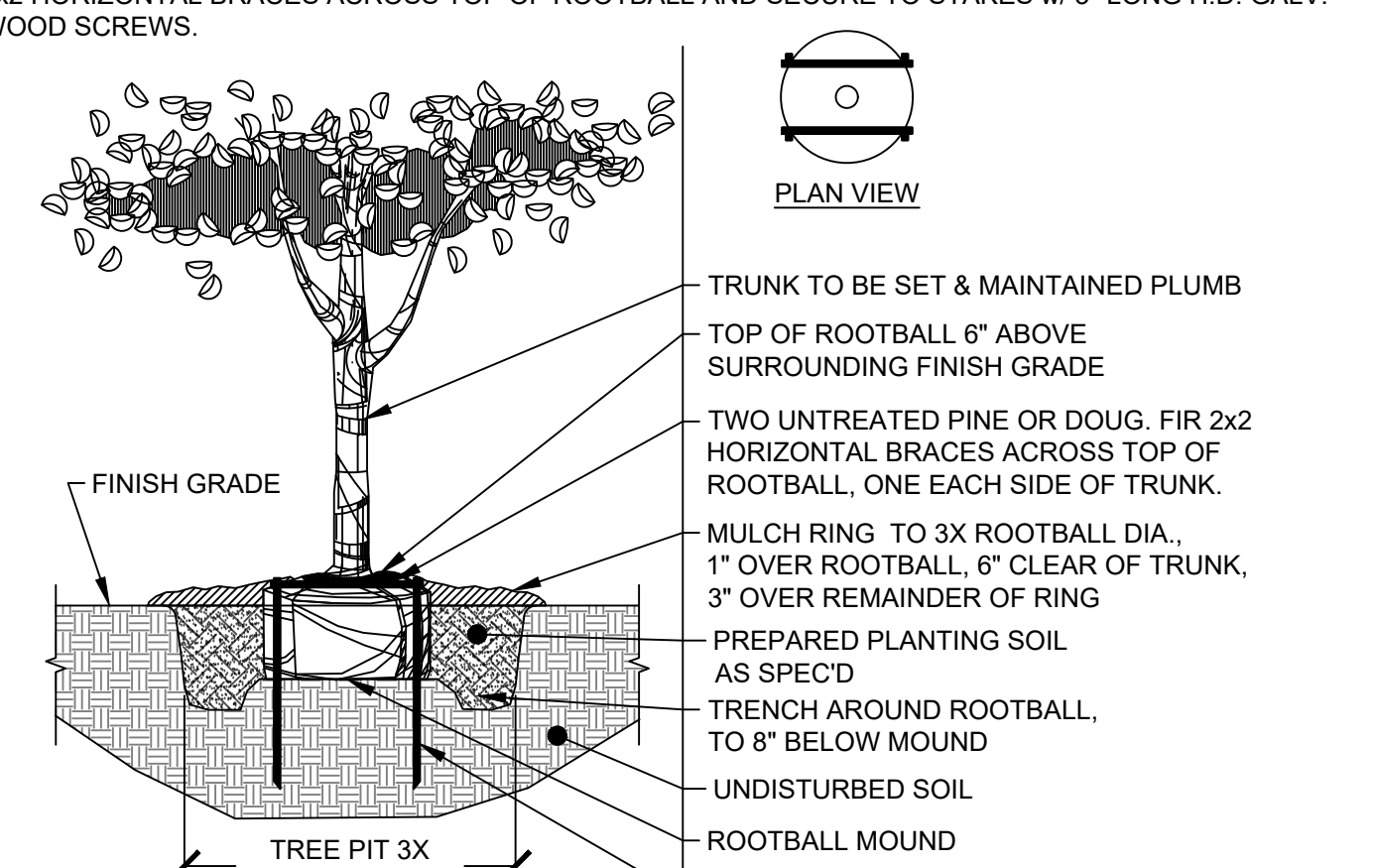


B4 TREE PLANTING DETAIL 65-300 GAL

- NOTES:**
- THE PERIMETER OF ALL CURVED PLANTING BEDS SHALL BE PLANTED AT WITH A ROW OF PLANTS AS SHOWN IN THIS DETAIL, AT THE O.C. SPACING SHOWN IN THE PLANT LIST.
 - INTERIOR PORTIONS OF EACH BED SHALL BE PLANTED IN A TRIANGULAR PATTERN AS SHOWN IN THIS DETAIL, AT THE O.C. SPACING SHOWN IN THE PLANT LIST.
 - SETBACKS ARE APPLICABLE AGAINST ALL HARDSCAPE SURFACES AND SOD EDGES.

NOTES:

- EXCAVATE OVERALL PLANTING HOLE TO DEPTH NECESSARY TO SET TOP OF ROOTBALL 6" ABOVE SURROUNDING FINISH GRADE. THIS IS THE ROOTBALL MOUND ELEVATION.
- EXCAVATE A TRENCH TO AN ADDITIONAL 8" DEPTH AROUND THE ROOTBALL MOUND.
- ASSURE PERCOLATION OF PLANTING HOLE PRIOR TO SETTING THE TREE. NOTIFY THE OWNER IN WRITING IF SATISFACTORY PERCOLATION IS NOT ACHIEVED.
- INSTALL 2x2 STAKES AGAINST THE OUTER EDGE OF THE ROOTBALL, 3" MIN. INTO UNDISTURBED SOIL. SET 2x2 HORIZONTAL BRACES ACROSS TOP OF ROOTBALL AND SECURE TO STAKES W/ 3" LONG H.D. GALV. WOOD SCREWS.



B4 TREE PLANTING DETAIL: 15-45 GAL

- EXCAVATE AND REMOVE 3" OF EXISTING SITE SOIL IN ALL SHRUB AREAS.
 - BACKFILL ALL SHRUB BED AREAS W/ 3" OF PREPARED PLANTING SOIL. ROTOTILL UNTIL SOIL IS UNIFORMLY BLENDED TO A DEPTH OF 8"-12".
- STEP 1: PLANTING BED PREPARATION**
- SETBACKS ARE APPLICABLE AGAINST ALL HARDSCAPE SURFACES AND SOD EDGES.
- STEP 2: PLANT MATERIAL INSTALLATION**

A1 PLANT SCHEDULE AND LANDSCAPING QVTS

A3 TRIANGULAR PLANT LAYOUT DETAIL

A4 SHRUBS AND GROUND COVER PLANTING

UMATILLA
NATURE'S HOMETOWN

REVISIONS	
NO.	DATE
SCALE: AS SHOWN	
DATE: OCTOBER 2020	
DRAWN: KNM, ALB	
CHECKED: MBH	
APPROVED: DJN	

LANDSCAPING PLAN

HANGAR INFRASTRUCTURE DEVELOPMENT
UMATILLA MUNICIPAL AIRPORT (X23), LAKE COUNTY, FLORIDA

SEAL

DANIEL J. NICKOLS, JR., P.E.
Lic. No. 78634

gai consultants
EB 9951
618 SOUTH ST. SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A170433.08

SHEET

CG503

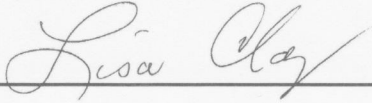
Affidavit of Publication DAILY COMMERCIAL

Serving Lake and Sumter Counties

located in Leesburg, Lake County Florida
STATE OF FLORIDA, COUNTY OF LAKE

Before the undersigned authority personally appeared

Lisa Clay



who on oath says that she is an authorized employee of the Daily Commercial, a daily newspaper published at Leesburg, in Lake and Sumter Counties, Florida; that the attached copy of advertisement, being a notice in the matter of

Public Hearing

was published in said newspaper in the issues of:

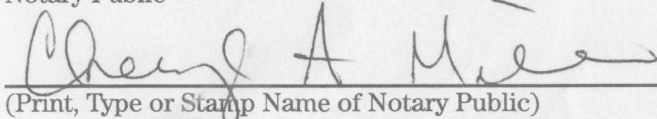
JAN 25, 2021

Affiant further says that the said Daily Commercial is published at Leesburg, in said Lake and Sumter Counties, Florida, and that the said newspaper has heretofore been continuously published in said Lake and Sumter Counties, Florida, daily, and has been entered as second class mail matter at the post office in Leesburg, in said Lake and Sumter Counties, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and subscribed before me this 25 day of Jan, A.D., 2021.



Cheryl A. Miller
Notary Public



(Print, Type or Stamp Name of Notary Public)

AD# D057555

NOTICE OF PUBLIC HEARING COMPREHENSIVE PLAN AMENDMENT AND REZONING

ORDINANCE 2021 -A

AN ORDINANCE OF THE CITY OF UMATILLA, COUNTY OF LAKE, STATE OF FLORIDA, PURSUANT TO THE PROVISIONS OF FLORIDA STATUTE 163.3187(1)(c); AMENDING THE LAND USE DESIGNATION OF 5.23 ± ACRES OF LAND DESIGNATED SINGLE FAMILY MEDIUM DENSITY TO TRANSPORTATION/AVIATION IN THE CITY OF UMATILLA FOR THE HEREAFTER DESCRIBED PROPERTY OWNED BY THE CITY OF UMATILLA LOCATED NORTH OF ROSE STREET AND WEST OF SKYLINE DRIVE; DIRECTING THE CITY MANAGER TO TRANSMIT THE AMENDMENT TO THE APPROPRIATE GOVERNMENTAL AGENCIES PURSUANT TO CHAPTER 163, FLORIDA STATUTES; AUTHORIZING THE CITY MANAGER TO AMEND SAID COMPREHENSIVE PLAN; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR AN EFFECTIVE DATE.

ORDINANCE 2021 -A - 1

AN ORDINANCE OF THE CITY OF UMATILLA, COUNTY OF LAKE, STATE OF FLORIDA, RECLASSIFYING 5.23 ± ACRES OF LAND ZONED CITY LOW DENSITY RESIDENTIAL (R-3) TO THE DESIGNATION OF AIRPORT ZONING (AZ) IN THE CITY OF UMATILLA FOR THE HEREAFTER DESCRIBED PROPERTY OWNED BY CITY OF UMATILLA, LOCATED NORTH OF ROSE STREET AND WEST OF SKYLINE DRIVE; DIRECTING THE CITY MANAGER TO PROVIDE CERTIFIED COPIES OF THIS ORDINANCE AFTER APPROVAL TO THE CLERK OF THE CIRCUIT COURT, THE LAKE COUNTY MANAGER AND THE SECRETARY OF STATE OF THE STATE OF FLORIDA; PROVIDING FOR AN EFFECTIVE DATE.

The proposed ordinances will be considered at the final reading at Umatilla City Council meeting on February 2, 2021 at 6:00 p.m.

The meeting will be held in the City Council Chambers at 1 S. Central Avenue, Umatilla, Florida.

The proposed ordinances may be inspected by the public between the hours of 8:00 a.m. to 5:00 p.m. Monday to Friday excluding holidays at City Hall. For further information call (352) 669-3125.

Interested parties may appear at the meeting and be heard with respect to the proposed ordinance.

A person who decides to appeal any decision made by any board, agency, or council with respect to any matter considered at such meeting or hearing, will need a record of the proceedings. For such purposes, any such person may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based (Florida Statutes, 286.0105).

The City of Umatilla is an equal opportunity provider and employer.

Karen H. Howard, MMC
City Clerk



D057555 - January 25, 2021

**CITY OF UMATILLA
AGENDA ITEM STAFF REPORT**

DATE: February 10,2021

MEETING DATE: February 16, 2021

SUBJECT: Ordinance 2021-E

ISSUE: Simulated Gambling Establishments

BACKGROUND SUMMARY: In the years 2011 through 2013 Council adopted ordinances placing temporary moratoriums pertaining to any permitting or other action that would allow businesses which would utilize simulated gambling devices. The intent of adopting temporary moratoriums was to wait on the State Legislature to adopt regulations.

Illegal gambling is a crime and we do not have a land use category for committing crimes. There are entrepreneurs who have supposedly identified ‘simulated gambling’ or ‘game of skill’ workarounds (which might still be illegal gambling, but are difficult and expensive to prosecute) which is how you still see some of these popping up all around. Minneola banned, as a matter of land development regulation, all of this kind of establishment, using a definition of prohibited behavior that is broader than the criminal statute so that the workarounds would not succeed.

The county is considering regulating these establishments at an upcoming BCC meeting. Depending on what they do, the county ordinance could be applicable in the city absent a valid conflicting city ordinance covering the subject matter under the BCC’s countywide home rule power. Attorney Stone recommended the adoption of a regulation now, which would ‘opt out’ Umatilla from county regulation and simply ban these types of establishments.

STAFF RECOMMENDATIONS: Adoption of Ordinance 2021-E, Simulated Gambling Establishments, first reading

FISCAL IMPACTS: N/A

COUNCIL ACTION:

Reviewed by City Attorney Yes No N/A

Reviewed by City Engineer Yes No N/A

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ORDINANCE 2021 - E

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF UMATILLA, FLORIDA; AMENDING CHAPTER 6 OF THE CODE OF ORDINANCES OF THE CITY OF UMATILLA TO PROHIBIT SIMULATED GAMBLING ESTABLISHMENTS; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council for the City of Umatilla sees the need to address the changing needs of a growing city; and,

WHEREAS, commercial electronic simulated gambling is deceptive in nature and has adverse secondary effects of disturbing the peace and good order of communities and are hazardous to the public health, safety, and general welfare of the citizens of the City of Umatilla, Florida; and

WHEREAS, the City Council of the City of Umatilla determined that these amendments are in the best interest of the citizens of the City of Umatilla, Florida.

NOW, THEREFORE, be it ordained by the City Council of the City of Umatilla, Florida, as follows:

Section 1. Chapter 6 of the Code of Ordinances of the City of Umatilla is hereby amended to add Article V to read as follows:

Article V - Sweepstakes and Simulated Gambling Establishments

6-107.- Definitions

(1) Simulated Gambling Device. Any device that, upon connection with an object, is available to play or operate a computer simulation of any game, where the play or operation of the device may deliver or entitle the person or persons playing or operating the device to a payoff directly or indirectly from the owner or operator of the device or that person's designee. The following rules of construction apply to this definition of "simulated gambling device":

(2) The term "device" means any mechanical or electrical contrivance, computer, terminal, video or other equipment that may or may not be capable of downloading games from a central server system, machine, computer or other device or equipment. The term "device" also includes any associated equipment necessary to conduct the operation of the device.

(3) The term "upon connection with" means insertion, swiping, passing in range, or any other technical means of physically or electromagnetically connecting an object to a device, including by the manual input by any person of characters, numbers, or any combination thereof, or other

47 code for the purpose of accessing or activating a device, or any other mechanism or method by
48 which the object provides access to the device.

49
50 (4) The term "object" means a coin, bill, ticket, token, card, characters, numbers, crypto currency,
51 or any combination thereof, other code, or any other tangible or intangible access mechanism or
52 method, obtained directly or indirectly through payment of consideration, or obtained as a bonus
53 or supplement to another transaction involving the payment of consideration.

54
55 (5) The terms "play or operate" or "play or operation" includes the use of skill, the application of
56 the element of chance, or both.

57
58 (6) The term "computer simulation" includes simulations by means of a computer, computer
59 system, video display, video system or any other form of electronic video presentation.

60
61 (7) The term "game" includes slot machines, poker, bingo, craps, keno, any other type of game
62 ordinarily played in a casino, a game involving the display of the results of a raffle, sweepstakes,
63 drawing, contest or other promotion, lotto, sweepstakes, and any other game associated with
64 gambling or which could be associated with gambling, but the term "game" does not necessarily
65 imply gambling as that term may be defined elsewhere.

66
67 (8) The term "payoff" means cash, monetary or other credit, billets, tickets, tokens, crypto
68 currency, or electronic credits to be exchanged for cash or to receive merchandise or anything of
69 value whatsoever, whether made automatically from the machine or manually.

70
71 (9) The use of the word "gambling" in the term "simulated gambling device" is for convenience
72 of reference only. The term "simulated gambling device" as used in this Article is defined
73 exclusively by this subsection and does not incorporate or imply any other legal definition or
74 requirement applicable to gambling that may be found elsewhere.

75
76 (10) Sweepstakes. Establishments housing simulated gaming devices defined as any device that,
77 upon connection with an object, is available to play or operate a computer simulation of any game,
78 as defined in this section, and which may deliver or entitle the person or persons playing or
79 operating the device to a payoff.

80

81 **6.108.- Simulated Gambling.**

82
83 (1) Sweepstakes, or other establishments that house simulated gambling devices are
84 prohibited from being located or operated in the City.

85
86 (2) Non-waiver. A permit or license granted by City, including but not limited to, a
87 certificate of occupancy or business license tax receipt, does not constitute approval by City of a
88 business that is in violation of this Section and shall not be deemed a waiver of City's right to
89 enforce the provisions of this Section.

90

91 **6.109.- Exemptions.**

92

93 (1) This part does not prohibit an individual’s personal, recreational, and non-commercial
94 ownership, possession, play, operation or use of a device which could be construed to be a
95 simulated gambling device.

96
97 (2) This part does not prohibit the ownership, possession, play, operation or use of any device
98 expressly permitted by Section 546.10 or other provision of the Florida Statutes and not otherwise
99 prohibited by the Florida Constitution, except that devices permitted by Article X, Section 23 of
100 the Florida Constitution and Chapter 551, Florida Statutes, in Broward and Miami-Dade County
101 only are not permitted by this Part.

102
103 **Section 2.** All ordinances in conflict with this ordinance are hereby repealed.

104
105 **Section 3.** Should any section, phrase, sentence, provision, or portion of this Ordinance be declared
106 by any Court of competent jurisdiction to be unconstitutional or invalid, such decision shall not
107 affect the validity of the Ordinance as a whole, or any part thereof, other than the part so declared
108 to be unconstitutional or invalid.

109
110 **Section 4.** This ordinance shall take effect immediately upon passage.

111
112
113 **PASSED AND ORDAINED** this _____ day of _____, 2021, by the City Council of
114 the City of Umatilla, Florida.

115
116
117
118
119 _____
120 Kent Adcock, Mayor
121 City of Umatilla, Florida

122 ATTEST: Approved as to Form:
123
124 _____
125 Karen H. Howard, MMC Kevin Stone
126 City Clerk City Attorney

127
128 Passed First Reading _____
129 Passed Second Reading _____
130 (SEAL)
131

**CITY OF UMATILLA
AGENDA ITEM STAFF REPORT-REVISED**

DATE: February 11, 2021

MEETING DATE: February 16, 2021

SUBJECT: Resolution 2021-01

ISSUE: Vacation and Abandonment of Crescent Street with conditions

BACKGROUND SUMMARY: This resolution vacates and abandons Crescent Street with conditions. Attorney Zach Broome, representing Mr. Purvis and Mr. Straughan, has worked through various issues regarding where the road was located, devising a document involving the adjacent property owners and a quit claim deed of the parcel for Mr. Straughan.

Staff anticipates Mr. Broome to be in attendance with the documents.

The Vacation may be approved but will not be finalized and recorded until the following conditions are met:

- Receipt of Easement or other recordable document in form satisfactory to the city providing sufficient ingress and egress and utility easement
 - Repayment to the city of the \$10,909 paid to Mr. Straughan on April 13, ~~2020~~ 2000 for which a fee simple deed will be issued to Mr. Straughan.
-

STAFF RECOMMENDATIONS: Approve Vacation and abandonment of Crescent Street after conditions have been met.

FISCAL IMPACTS: \$10,909

COUNCIL ACTION:

Reviewed by City Attorney Yes No vN/A

Reviewed by City Engineer Yes No vN/A

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RESOLUTION 2021-01

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF UMATILLA, FLORIDA; AUTHORIZING THE VACATION AND ABANDONMENT OF CRESCENT STREET, WEST OF OWENS LANE AND AS MORE PARTICULARLY DESCRIBED HEREIN; CONDITIONING SUCH VACATION UPON THE GRANTING OF THOSE NECESSARY EASEMENTS AND RESERVATIONS TO ADJOINING PROPERTY OWNERS AND TO THE CITY OF UMATILLA; PROVIDING FOR RECORDATION; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Umatilla has received a proposal from J. Michael Straughn and H. Scott Purvis and Karen S. Purvis, husband and wife, each an adjoining fee simple landowner, to vacate, discontinue, and close Crescent Street, as described in Exhibit A, within the City limits; and,

WHEREAS, in accordance with F.S.166.01, Municipal Home Rule Powers, the City may exercise power for municipal purposes; and

WHEREAS, vacation of right-of-way may be performed when the City Council determines that the right-of-way no longer serves a public purpose or that the vacation is in the public interest; and

WHEREAS, legal access, allowing for the right of adequate and convenient vehicular access to all adjacent private properties currently using or entitled to use the above described right-of-way has been provided for by a private easement; and

WHEREAS, such easement has been joined by all such owners of adjacent private properties and provides for the maintenance of the road and allows for the construction, maintenance, repair and replacement of utilities and similar services; and

WHEREAS, the proposed action is consistent with the comprehensive plan; and

WHEREAS, closing the above described unimproved right-of-way would not have an adverse affect on public safety, pedestrian safety, vehicular traffic, municipal services including, but not limited to, emergency service, waste removal, and public and private utilities, or the design and character of the area; and

WHEREAS, the City Council published a Notice of Public Hearing for street closing and vacation in the Daily Commercial, a newspaper of general circulation in Lake County, Florida, on January 29, 2021, due proof of which has been filed with the City Council; and

WHEREAS, the City Council, at its Regular Meeting on February 16, 2021 did consider the Closing and Vacation of said Street; and

WHEREAS, the City Council finds that the continued dedication of the right-of-way

49 serves no useful purpose to the general public provided that the aforementioned easement is made
50 effective and recorded to run with the land for the benefit of all adjoining property owners and that
51 the City retains an easement over the vacated area for utility purposes.
52

53 **NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Umatilla, Florida,
54

55 **Section 1.** The recitals above are true and are incorporated herein by reference.
56

57 **Section 2.** That Crescent Street as described in Exhibit A, is henceforth closed, vacated,
58 abandoned, and discontinued, subject to the conditions set forth herein.
59

60 **Section 3.** That, upon this resolution becoming effective, the Umatilla City Council, acting for
61 the incorporated City of Umatilla and the public, does hereby renounce and
62 disclaim any right, title, or interest, not herein reserved, in and to said street; and
63 that title to said street be vested in accordance with the law. The City of Umatilla
64 hereby reserves and retains a perpetual, non-exclusive easement over those portions
65 closed and vacated in Section 2 for utility purposes.
66

67 **Section 4.** That this resolution is passed in anticipation of and contingent upon the execution
68 and delivery of the easement described herein; and further, that this resolution shall
69 become effective upon recording but shall have no effect if it not recorded.
70

71 **DONE AND RESOLVED** this ____ day of February, 2021 in regular session of the City Council
72 of the City of Umatilla, Florida.

73 **CITY COUNCIL OF THE**
74 **CITY OF UMATILLA, FLORIDA**

75 _____
76 Kent Adcock
77 Mayor

77 **ATTEST:**

78 _____
79 Karen Howard, City Clerk

79 **CITY OF UMATILLA CERTIFICATION**

80 **STATE OF FLORIDA**
81 **COUNTY OF LAKE**

82 The foregoing instrument was acknowledged before me this ____ day of _____ 2021, by
83 Kent Adcock, Mayor, and Karen Howard, City Clerk, who are personally known to me.

84 _____
Notary Public - State of Florida

85
86
87
88

My Council Expires:
Notary Serial No:

CITY ATTORNEY'S OFFICE

89 This document is approved as to form and legal content, but I have not performed an independent
90 Title examination as to the accuracy of the Legal Description.

91 _____ Date
City Attorney's Office

92
93
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CERTIFICATE OF POSTING

The foregoing Resolution Number 2021-01 is hereby approved, and I certify that I published the same by posting one copy hereof at City Hall and one copy at the Umatilla Police Department, all within the corporate limits of the City of Umatilla, Lake County, Florida.

98 _____
Karen Howard, City Clerk
99

Exhibit A

PARCEL A

THAT PORTION OF THE SOUTHWEST 1/4 OF SECTION 11, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA.

COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 11; THENCE RUN N00°24'24"W ALONG THE EAST LINE OF SAID SECTION 11 A DISTANCE OF 1020.50 FEET; THENCE DEPARTING SAID EAST LINE RUN N89°53'39"W A DISTANCE OF 1013.99 FEET TO THE WEST LINE OF A PARCEL OF LAND DESCRIBED IN OFFICIAL RECORD BOOK 1628, PAGE 1308 FOR THE POINT OF BEGINNING; THENCE RUN S00°24'24"E ALONG SAID WEST LINE A DISTANCE OF 47.07 FEET; THENCE DEPARTING SAID WEST LINE RUN N89°57'48"W A DISTANCE OF 25.55 FEET TO THE EASTERLY LINE OF THE PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORD BOOK 2915, PAGE 52; THENCE RUN N00°22'50"W ALONG SAID EAST LINE A DISTANCE OF 47.10 FEET TO THE SOUTH LINE OF A PARCEL OF LAND DESCRIBED IN OFFICIAL RECORD BOOK 873, PAGE 1282; THENCE RUN S89°53'59"E ALONG SAID SOUTH LINE A DISTANCE OF 25.52 FEET TO THE POINT OF BEGINNING.

PARCEL B

THE NORTH 50 FEET OF THE FOLLOWING DESCRIBED PROPERTY LYING IN LAKE COUNTY, FLORIDA:

START ON THE SECTION LINE 299 1/2 FEET SOUTH 0° 34' EAST OF THE NORTHEAST CORNER OF SE 1/4 OF SE 1/4, SECTION 11, TOWNSHIP 18 SOUTH, RANGE 26 EAST, AND 1024.75 FEET NORTH 0° 34' WEST OF THE SOUTHEAST CORNER OF SAID SECTION 11, THENCE RUN SOUTH 0° 34' EAST 195.5 FEET TO CONCRETE MONUMENT, THENCE SOUTH 89° 54 3/4' WEST 726 FEET TO CONCRETE MONUMENT, THENCE SOUTH 0° 34' EAST 259.38 FEET TO CONCRETE MONUMENT, THENCE SOUTH 89° 54 3/4' WEST 287.98 FEET TO CONCRETE MONUMENT, THENCE NORTH 0° 34' WEST 454.88 FEET TO CONCRETE MONUMENT, THENCE NORTH 89° 54 3/4' EAST 1013.98 FEET TO THE STARTING POINT, EXCEPT A 25 FOOT STRIP ON THE EAST SIDE FOR A STREET.

PARCEL C

THAT PORTION OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 18 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 11; THENCE RUN ON A BEARING RELATED TO FLORIDA STATE PLANE COORDINATES, EAST ZONE, N00°18'21"W ALONG THE EAST LINE OF SAID SECTION 11 A DISTANCE OF 1024.75 FEET FOR THE POINT OF BEGINNING; THENCE DEPARTING SAID EAST LINE RUN N89°49'36"W A DISTANCE OF 25.00 FEET TO THE NORTHEAST CORNER OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1813, PAGE 1610, PUBLIC RECORDS

147 OF LAKE COUNTY, FLORIDA; THENCE CONTINUE N89°49'36"W ALONG THE NORTH
148 LINE OF SAID LANDS A DISTANCE OF 515.19 FEET TO THE INTERSECTION OF THE
149 SOUTH LINE OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2493, PAGES
150 336 THROUGH 340, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE
151 DEPARTING SAID NORTH LINE RUN N87°41'47"E ALONG SAID SOUTH LINE, ALSO
152 ALONG THE SOUTH LINES OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK
153 2493, PAGES 341 THROUGH 345 AND OFFICIAL RECORDS BOOK 2493, PAGES 346
154 THROUGH 350, BOTH BEING RECORDED IN THE PUBLIC RECORDS OF LAKE
155 COUNTY, FLORIDA, A DISTANCE OF 540.50 FEET TO THE AFORESAID EAST LINE OF
156 SECTION 11; THENCE RUN S00°18'21"E ALONG SAID EAST LINE A DISTANCE OF 23.36
157 FEET TO THE POINT OF BEGINNING.

158

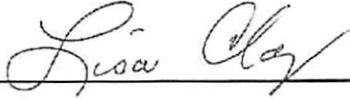
Affidavit of Publication DAILY COMMERCIAL

Serving Lake and Sumter Counties

located in Leesburg, Lake County Florida
STATE OF FLORIDA, COUNTY OF LAKE

Before the undersigned authority personally appeared

Lisa Clay



who on oath says that she is an authorized employee of the Daily Commercial, a daily newspaper published at Leesburg, in Lake and Sumter Counties, Florida; that the attached copy of advertisement, being a notice in the matter of

PUBLIC HEARING

was published in said newspaper in the issues of:

JAN 29, 2021

Affiant further says that the said Daily Commercial is published at Leesburg, in said Lake and Sumter Counties, Florida, and that the said newspaper has heretofore been continuously published in said Lake and Sumter Counties, Florida, daily, and has been entered as second class mail matter at the post office in Leesburg, in said Lake and Sumter Counties, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and subscribed before me this 29 day of Jan
A.D., 2021.



Cheryl A. Miller
Notary Public



(Print, Type or Stamp Name of Notary Public)

AD#

D057558

NOTICE OF PUBLIC HEARING RIGHT OF WAY VACATION

RESOLUTION NO. 2021-01

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF UMATILLA, FLORIDA; AUTHORIZING THE VACATION AND ABANDONMENT OF CRESCENT STREET, WEST OF OWENS LANE AND AS MORE PARTICULARLY DESCRIBED HEREIN; CONDITIONING SUCH VACATION UPON THE GRANTING OF THOSE NECESSARY EASEMENTS AND RESERVATIONS TO ADJOINING PROPERTY OWNERS AND TO THE CITY OF UMATILLA; PROVIDING FOR RECORDATION; PROVIDING FOR AN EFFECTIVE DATE.

The proposed Resolution will be considered at the following public meeting scheduled to be held in the Umatilla Council Chambers at 1 S. Central Avenue, Umatilla, FL.

Umatilla City Council meeting on February 16, 2021 at 6:00 p.m.

Ordinance 2017-C, the City of Umatilla Land Development Regulations, Comprehensive Plan, and the legal description of the property are available for inspection at the City Hall, during normal working hours 8:00 a.m. to 5:00 p.m. Persons with disabilities needing assistance to participate in any of these proceedings should contact Karen Howard, City Clerk, at (352) 669-3125 at least 48 hours before the date for the scheduled hearing.

F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Umatilla is an equal opportunity provider and employer.



D057558 - January 29, 2021

CITY OF UMATILLA
AGENDA ITEM STAFF REPORT - REVISED

DATE: February 15, 2021

MEETING DATE: February 16, 2021

SUBJECT: Resolution 2021-02

ISSUE: Variance and Site Plan, O'Reilly Automotive Stores

BACKGROUND SUMMARY: The property for which the applicant is seeking approval of a Variance is the vacant parcel north of Pizza Hut, at the corner of SR 19 and Bulldog Way.

The Variance is required for:

- reduction of buffer widths along the perimeter property boundaries
- A setback of 20' from SR 19 instead of 50'
- Rear setbacks of 15' instead of 25'
- Location of proposed access driveway on Bulldog Way from 150' to 97.03' with a minimum access radius of 15' instead of 25'

~~A traffic impact analysis is required since the subject property will generate 41 PM peak hour trips. The applicant has addressed all outstanding planning issues.~~

The architecture elevations meet the commercial design standards except for the north and west elevations which do not propose anything to offset the blank wall areas on the building façade. The applicant could propose a decorative metal trellis or similar feature to meet this requirement.

STAFF RECOMMENDATIONS:

- 1) Approval of Resolution 2021-02 granting variance of setback standards, intersection spacing between driveway access, minimum access radius, and reduction of buffer widths ~~with the requirement of a traffic study.~~
- 2) Approval of Site Plan subject to engineering review.

FISCAL IMPACTS: Unknown

COUNCIL ACTION:

Reviewed by City Attorney	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Reviewed by City Engineer	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A

**CITY OF UMATILLA
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

SITE PLAN AND VARIANCE

Applicant: Cardno, Thomas Burke

Owner: O'Reilly Automotive Stores, Inc.

General Location: West of SR 19 and South of Bulldog Way

Number of Acres: .712 ± acres

Existing Zoning: General Commercial (C-2)

Existing Land Use: General Commercial

Date: December 8, 2020

Description of Project

The owner is seeking approval of a 6,871 square foot retail auto parts store. An administrative request for a reduction of buffer widths along the perimeter property boundaries and setback from SR 19 from 50' to 20'. A variance will be required for the rear setback from 25' to 15', location of proposed access driveway on Bulldog Way from 150' to 97.03', and minimum access radius from 20' to 15'.

	Surrounding Zoning	Surrounding Land Use
North	C-2	General Commercial (Undeveloped)
South	C-2	General Commercial (Pizza Hut)
East	C-2	General Commercial (SR 19/Jolly Rogers/Gym)
West	C-2	General Commercial (Shopping Center)

Assessment

The applicant has addressed all outstanding planning issues.

Variance

Variances have been requested from Chapter 6, Schedule of Setback Requirements from 25' to 15' Chapter 14, Section 4(d) minimum radius of access drive from 20' to 15' and a maximum width of access drive from 30' to 33'.

Chapter 14, Section 4(e) spacing between access driveway and intersection from 150' to 97'

The justification submitted indicates due to site constraints of three roadways (SR 19, Bulldog Way and shopping center access road) and to provide proper circulation for delivery, sanitation, and emergency vehicles variances are needed.

Chapter 20, Section 1(f) sets out the review criteria for variances as follows:

- 1) No diminution in value of surrounding properties would be suffered;

Granting of the variances does not and will not have an unduly adverse effect on adjacent properties.

- 2) Granting the permit would be of benefit to the public interest;

The benefit to the public would be an enhancement to the area and provide taxable revenue.

- 3) Denial of the permit would result in unnecessary hardship to the owner seeking it;

Denial of the variance would result in an unnecessary hardship and would restrict the buildable area in such a manner that would severely limit the size and type of commercial constructed.

- 4) By granting the permit, substantial justice will be done; and

Granting of the variance is the minimum variance necessary to accommodate the commercial construction. Granting of the variance will not adversely affect the public health, safety and general welfare of the citizens.

- 5) The use must not be contrary to the spirit of the ordinance.

Setbacks are generally intended to promote light, air, ventilation, allow for road widening and prevent overcrowding. A reduction in the rear setback will still meet the intent and spirit of the ordinance.

The minimum access radius (size of curved approach/exit of driveway) is to provide sufficient operational area for traffic entering or exiting the site. The industry standard varies based on the amount of trips expected to be generated. Review of FDOT data indicates that the radius can vary from 10' to 35' with a drop curb flare of a minimum of 10'. An access driveway with a small radial return can operate well if the width of the driveway is larger. Review of the plans indicate that the access drive is proposed at 33' width a roll down curb and a 15' radius. A reduction in the radius and an increased width of the access drive will still meet the intent and spirit of the ordinance.

The minimum distance between a driveway access and an intersection is to provide adequate sight distance, minimize impacts on traffic while providing safe entry and exit from the development served. The location should take into account characteristics of the roadway, the site and potential users. Bulldog Way has a posted speed limit of 25 mph. The proposed distance of 97' from SR 19 would still provide available stacking on Bulldog Way of approximately 6 vehicles versus the LDR regulation of 10 vehicles; provide for adequate sight distance and provide for safe vehicle entry and exit. A reduction in the distance will still meet the intent and spirit of the ordinance.

Recommendation

Staff recommends approval of the site plan subject to engineering review.

Staff recommends approval of the reduced buffer widths and setbacks due to the surrounding land uses of commercial, site limitations, and there is an existing 10' buffer adjacent to Pizza Hut to the south.

Staff recommends approval of the rear setback from 25' to 15'.

Staff recommends approval of the variances for the access drive separation from 150' to 97', maximum access width from 30' to 33', and minimum access radius from 20' to 15'.

RESOLUTION 2021 - 02

5
6 **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF UMATILLA, FLORIDA, GRANTING A VARIANCE TO**
7 **THE LAND DEVELOPMENT REGULATION (LDR) REQUIREMENTS PERTAINING TO SETBACK STANDARDS**
8 **FROM 25' TO 15', INTERSECTION SPACING BETWEEN DRIVEWAY ACCESS FROM 150' TO 97' AND**
9 **MINIMUM ACCESS RADIUS FROM 20' TO 15' ON THE SUBJECT PROPERTY LOCATED WEST OF SR 19**
10 **AND SOUTH OF BULLDOG WAY AND OWNED BY O' REILLY AUTOMOTIVE STORES, INC. PROVIDING**
11 **FOR AN EXPIRATION DATE AND PROVIDING FOR AN EFFECTIVE DATE.**

12
13 **WHEREAS**, Thomas Burke, applicant on behalf of the property owner, O'Reilly Automotive Stores, Inc.
14 has petitioned for variances for the property located West of SR 19 and south of Bulldog Way, in the City
15 of Umatilla, Florida; and

16
17 **WHEREAS**, the owner requests a variance to the following LDR requirements:

- 18
19 • Chapter 6, Schedule of Setback Requirements from 25' to 15'
20 • Chapter 14, Section 4(d) minimum radius of access drive from 20' to 15'
21 • Chapter 14, Section 4(e) spacing between access driveway and intersection from 150' to 97'

22
23 **WHEREAS**, this Resolution met all public notice requirements;

24
25 **NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF UMATILLA, FLORIDA, as**
26 **follows:**

- 27
28 1. The City Council has determined that a reduction of the rear setback from twenty-five feet (25')
29 to fifteen feet (15') is not detrimental to the character of the area.
30
31 2. The City Council has determined that a reduction in the minimum access radius from twenty
32 feet (20') to fifteen feet (15') is not detrimental to the character of the area.
33
34 3. The City Council has determined that a reduction of the spacing between access drive and
35 intersection from one hundred fifty feet (150') to ninety seven feet (97') is not detrimental to
36 the character of the area.
37
38 4. The City Council has determined that a reduction of the rear setback from twenty-five feet (25')
39 to fifteen feet (15') does not and will not have an unduly adverse effect on surrounding
40 property.
41
42 5. The City Council has determined that a reduction in the minimum access radius from twenty
43 feet (20') to fifteen feet (15') will not have an unduly adverse effect on surrounding property.
44
45 6. The City Council has determined that a reduction of the spacing between access drive and
46 intersection from one hundred fifty feet (150') to ninety seven feet (97') will not have an unduly
47 adverse effect on surrounding property.
48

- 49 7. Special conditions and circumstances exist which are peculiar to the Property which are not
 50 applicable to other land and structures.
 51
 52 8. A variance of 15 feet from the existing code for rear setbacks is the minimum variance to
 53 accommodate development of the site.
 54
 55 9. A variance of 15' radius and 33' access driveway width from the existing code for access drives is
 56 the minimum variance to accommodate the development of the site.
 57
 58 10. A variance of 97' feet from the existing code for intersection spacing is the minimum variance to
 59 accommodate the development of the site.
 60
 61 11. The variances relating to rear setbacks, minimum access radius, maximum access width, and
 62 intersection spacing will not adversely affect the public health, safety and general welfare of the
 63 citizens of the City of Umatilla.
 64
 65 12. The petition for variances filed by Thomas Burke, applicant on behalf of the property owner,
 66 O'Reilly Automotive Stores, Inc. for property west of SR 19 and south of Bulldog Way in the City
 67 of Umatilla, Florida, more particularly described as:
 68

69 **LEGAL DESCRIPTION:** See Exhibit "A"

70
 71 **Alternate Key # 3462963**

72
 73 is GRANTED as follows:

- 74
 75 1. Chapter 6, Schedule of Setback Requirements from 25' to 15'
 76 2. Chapter 14, Section 4(d) minimum radius of access drive from 20' to 15' and maximum width
 77 from 30' to 33'
 78 3. Chapter 14, Section 4(e) spacing between access driveway and intersection from 150' to 97'
 79 4. This variance is granted subject to the following conditions, and shall be of no effect unless and
 80 until the conditions have been met, to wit: a 6' sidewalk shall be constructed to City standards
 81 adjacent to Bulldog Way; all structures on the property shall meet the non-residential design
 82 standards outlined in Chapter 6 of the Land Development Regulations.
 83

84 **PASSED AND ORDAINED** in regular session of the City Council of the City of Umatilla, Lake County,
 85 Florida, this _____ day of _____, 2021.
 86

87 _____
 88 Kent Adcock, Mayor
 89 City of Umatilla, Florida

90
 91 ATTEST:

92 _____
 93 Karen H. Howard, MMC
 94 City Clerk

Approved as to Form:

95 _____
 96 Kevin Stone
 97 City Attorney

98 Passed First Reading _____
 99 Passed Second Reading _____
 (SEAL)

EXHIBIT "A"
LEGAL DESCRIPTION

100
101
102
103 ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE SOUTHWEST QUARTER OF THE
104 NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 18 SOUTH, RANGE 26 EAST, CITY OF UMATILLA, LAKE
105 COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
106 COMMENCING AT THE CENTER OF SAID SECTION 12, THENCE ALONG THE WEST LINE OF SAID
107 NORTHEAST QUARTER N01°08'16"E FOR A DISTANCE OF 25.38 FEET TO A POINT; THENCE N89°43'06"E
108 FOR A DISTANCE OF 29.68 FEET TO A POINT; THENCE N01°09'55"E FOR A DISTANCE OF 782.16 FEET TO
109 A POINT; THENCE S75°50'30"E FOR A DISTANCE OF 676.42 FEET TO A ½" REBAR FOUND ALONG THE
110 SOUTHERLY RIGHT OF WAY OF BULLDOG WAY (50' PUBLIC R/W), SAID POINT BEING THE POINT OF
111 BEGINNING FOR THE HEREIN DESCRIBED PARCEL OF LAND; THENCE CONTINUING ALONG SAID RIGHT OF
112 WAY OF BULLDOG WAY S75°48'51"E FOR A DISTANCE OF 174.08 FEET TO A NAIL FOUND ALONG THE
113 WESTERLY RIGHT OF WAY OF NORTH CENTRAL AVENUE (FLORIDA STATE HIGHWAY 19, 85' PUBLIC R/W
114 AS PER FDOT SECTION MAP 11150-2503); THENCE CONTINUING ALONG SAID RIGHT OF WAY OF NORTH
115 CENTRAL AVENUE S18°18'23"W FOR A DISTANCE OF 163.91 FEET TO A ½" REBAR FOUND; THENCE
116 LEAVING SAID RIGHT OF WAY OF NORTH CENTRAL AVENUE N71°40'40"W FOR A DISTANCE OF 199.87
117 FEET TO A ½" REBAR FOUND; THENCE N18°14'53"E FOR A DISTANCE OF 125.00 FEET TO A NAIL AND
118 DISK FOUND (LB 7514); THENCE N63°19'25"E FOR A DISTANCE OF 37.27 FEET TO THE POINT OF
119 BEGINNING.
120 SAID TRACT OF LAND CONTAINS 31,005 SQUARE FEET OR 0.712 ACRE MORE OR LESS.
121



1 NORTH EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"



2 WEST EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"



3 SOUTH EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"



4 EAST EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"

FINISH LEGEND:

	ACCENT BLOCK -	PAINTED SPLIT FACE C.M.U. COLOR: SHERWIN WILLIAMS "SOFTER TAN" SW6141
	STUCCO AROUND - SIGN	CUSTOM RED MIX BY DRYVIT ORAP011030S SHERWIN WILLIAMS "POSITIVE RED" SW6871
	STOREFRONT -	KAWNEER "DARK IVY"
	STONE VENEER -	ELDORADO STONE RUSTIC LEDGE "SAWTOOTH"



CRAIG A. SCHNEIDER, AIA
ARCHITECT

1736 East Sunshine, Suite 417
Springfield, Missouri 65804
417.862.0558
Fax: 417.862.3265
e-mail: architect@estertyschneider.com

PROJECT:
NEW O'REILLY AUTO PARTS STORE
NORTH CENTRAL AVE.
UMATILLA, FL

COLOR ELEVATIONS

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM #	
DATE:	5-18-2020
REVISION	
DATE:	9-15-2020

NOT FOR CONSTRUCTION

CE1

Affidavit of Publication

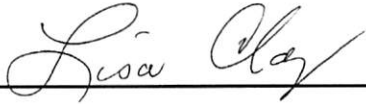
DAILY COMMERCIAL

Serving Lake and Sumter Counties

located in Leesburg, Lake County Florida
STATE OF FLORIDA, COUNTY OF LAKE

Before the undersigned authority personally appeared

Lisa Clay



who on oath says that she is an authorized employee of the Daily Commercial, a daily newspaper published at Leesburg, in Lake and Sumter Counties, Florida; that the attached copy of advertisement, being a notice in the matter of

PUBLIC HEARING

was published in said newspaper in the issues of:

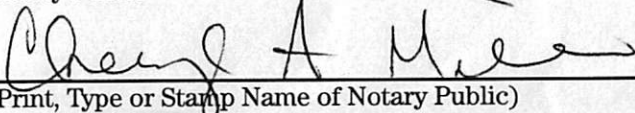
JAN 30, 2021

Affiant further says that the said Daily Commercial is published at Leesburg, in said Lake and Sumter Counties, Florida, and that the said newspaper has heretofore been continuously published in said Lake and Sumter Counties, Florida, daily, and has been entered as second class mail matter at the post office in Leesburg, in said Lake and Sumter Counties, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and subscribed before me this 1 day of Feb, A.D., 2021.



Cheryl A. Miller
Notary Public



(Print, Type or Stamp Name of Notary Public)

AD#

10100638

NOTICE OF PUBLIC HEARING FOR
VARIANCE AND SITE PLAN
APPROVAL

RESOLUTION 2021 - 02

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF UMATILLA, FLORIDA, GRANTING A VARIANCE TO THE LAND DEVELOPMENT REGULATION (LDR) REQUIREMENTS PERTAINING TO SETBACK STANDARDS FROM 25' TO 15', INTERSECTION SPACING BETWEEN DRIVEWAY ACCESS FROM 150' TO 97' AND MINIMUM ACCESS RADIUS FROM 20' TO 15' ON THE SUBJECT PROPERTY LOCATED WEST OF SR 19 AND SOUTH OF BULLDOG WAY AND OWNED BY O' REILLY AUTOMOTIVE STORES, INC. PROVIDING FOR AN EXPIRATION DATE AND PROVIDING FOR AN EFFECTIVE DATE.

The proposed Ordinance will be considered at the following public meeting scheduled to be held in the Umatilla Council Chambers at 1 S Central Avenue, Umatilla, FL.

Umatilla City Council meeting on February 16, 2021 at 6:00 p.m.

Ordinance 2017-C, the City of Umatilla Land Development Regulations, Comprehensive Plan, and the legal description of the property are available for inspection at the City Hall, during normal working hours 8:00 a.m. to 5:00 p.m. Persons with disabilities needing assistance to participate in any of these proceedings should contact Karen Howard, City Clerk, at (352) 669-3125 at least 48 hours before the date for the scheduled hearing.

F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Umatilla is an equal opportunity provider and employer.

Karen Howard
City Clerk

Ad No: 10100638
January 30, 2021



UMATILLA POLICE DEPARTMENT PRESS RELEASE

WEEK OF January 26, 2021 – February 1, 2021

ARRESTS

1/31/2021	5:20 PM	Male juvenile	Aggravated assault.
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CRIMINAL CITATIONS REQUIRING COURT APPEARANCE

1/29/2021	10:51 pm	Alexander Ordaz Dade City	Violation of driver's license restrictions.
1/29/2021	10:51 pm	Fernando Pulido Dade City	Allowing an unauthorized driver to drive.

REPORTS FILED

1/26/2021	2:17 pm	Officers filed a report after a citizen turned in a handgun for destruction.
1/28/2021	12:29 pm	Officers took a report of an attempted vehicle burglary at a residence on Cassidy Street. Fingerprints were taken from the vehicle.
1/28/2021	4:41 pm	Officers assisted DCF with an investigation.
1/28/2021	6:28 pm	Officers responded to a domestic disturbance on West Ocala Street.
1/30/2021	8:56 pm	Officers transported a person to Lifestream Behavioral Center.
1/31/2021	4:18 pm	Officers took a report of burglary and grand theft from a residence on Cayman Circle.

ACTIVITY BREAKDOWN

ARRESTS	3
DISPATCHED CALLS	94
TRAFFIC STOPS	24
TRAFFIC CITATIONS ISSUED	2



UMATILLA POLICE DEPARTMENT PRESS RELEASE

WEEK OF February 2, 2021– February 8, 2020

ARRESTS

--	--	--	--

CRIMINAL CITATIONS REQUIRING COURT APPEARANCE

--	--	--	--

REPORTS FILED

2/4/2021	5:17 pm	Officers took a report of damage to the facilities at Cadwell Park.
2/5/2021	11:17 am	Officers assisted DCF with an investigation.
2/8/2021	4:46 pm	Officers took a report of threats being made by a Umatilla resident.
2/8/2021	11:07 pm	Officers transported a person to Lifestream under a Baker Act.
2/8/2021	1:02 pm	Officers assisted DCF with an investigation.

ACTIVITY BREAKDOWN

ARRESTS	0
DISPATCHED CALLS	84
TRAFFIC STOPS	27
TRAFFIC CITATIONS ISSUED	1

CODE ENFORCEMENT REPORT THROUGH FEBRUARY 9, 2021

CASE	ALT KEY	ADDRESS	DATE	VIOLATION	STATUS
16-00015	1501482	410 N ORANGE AVE		IN COMPLIANCE WITH ORDER AS OF 5/27/2018 FINE DUE \$10,992.90	Fine Certified on 6/21/2017; COF \$ 25/day starting 3/17/17
17-00007	1500168	546 GUERRANT ST		property was abated, fine stopped on August 1, 2018 TOTAL FINE DUE \$20,508.33 (375 DAYS @ \$50/DAY + ABATEMENT AND ADMIN FEES)	Fine certified on 8/16/2017 COF \$50/day starting 7/22/17
17-00166	1500842	398 ROSE ST	10/18/2017	ROOF DEFECT, TREE BRANCHES/GUTTER DOWN, GRASS OVERGROWN, UNKEMPT	CN MAILED
18-00015	1499429	128 CASSADY ST	1/23/2018	Trash, fence, grass, junk	
17-00139	1130662	195 BULLDOG LN	8/9/2017	Went to Cert. of Fine. Still accruing daily fine of \$50.00 per day. Fine as of July 24, 2019 fine is \$24,557.34	
18-00048	1499429	128 CASSADY ST	3/7/2018	SPECIAL MASTER GRANTED 90 DAYS FOR COMPLIANCE (REINSPECTION 1 MAY, 2019) \$50/DAY IF NOT IN COMPLIANCE	
18-00219	2925779	208 LORI COURT	11/13/2018	SPECIAL MASTER GRANTED 30 DAYS FOR COMPLIANCE (REINSPECTION MARCH 4, 2019) \$50/DAY IF NOT IN COMPLIANCE (10,500 as of 9/30/2019)	
19-00021	1500842	398 ROSE ST	2/20/2019	ABATEMENT NOTICE POSTED 2/26/2019 - USDA Foreclosure	
19-00044	1806470	41 N OAK AVE	4/2/2019	ABANDONED VEHICLES - RV AND SUV	
19-00130	1201713	390 EAST LAKE ST	9/9/2019	LIFE SAFETY HAZARD WAS REMOVED, MONITORING FOR REMOVAL THE DEBRIS LEFT FROM THE TREE THEY CUT DOWN	
20-00050	1130662	195 BULLDOG LN	5/19/2020	additional violations regarding continued deterioration of the property.	
20-00076	1130867	235 N CENTRAL AVE	6/19/2020	WASHOUT OF SAND FROM PROPERTY INTO STORM DRAIN SYSTEM. Partial compliance, grave filled the washed out areas. Drains	
20-00079	1692407	136 CASSADY ST	6/19/2020	UNHEALTHY TREE GROWING OVER POWER LINE ; Duke responded, the work will require a planned outage. They will let us know when.	
20-00080	1755280	167 CASSADY	6/19/2020	DEAD TREE ON PROPERTY DETERIORATING, TREE HAS BEEN CUT DOWN, SOME DEBRIS REMAINS IN YARD - NO REMAINING LIFE SAFETY HAZARD	
20-00114	1500168	546 GUERRANT ST	9/14/2020	COMPLAINT - OVERGROWN GRASS, FENCE IN ILL REPAIR, JUNK CARS	
20-00119	3809725	WAFFORD LOT E OF 172 LAKEVIEW ST	9/22/2020	IMPROPER PLACEMENT OF YARD TRASH ON DUBBS STREET RIGHT OF WAY	
20-00120	1130964	55 N CENTRAL AVE	9/23/2020	BOLLARDS INSTALLED VIOLATE ELECTRICAL CODE FOR CLEAR WORKSPACE	
20-00122	1185394	685 GUERRANT ST	10/07/2020	COMPLAINT REFERENCE ABANDONED APPEARANCE	
20-00125	2586931	140 ARAGON ST	10/9/2020	RV IN YARD OCCUPIED. OUTDOOR STORAGE VIOLATION REOCCURRENCE	
20-00130	3818509	16603 LAKE SMITH ROAD	10/30/2020	RIGHT OF WAY OVERGROWN.	
20-00133	1705380	17 HIBISCUS ST	11/4/2020	ACCUMULATION OF JUNK AND OTHER UNSIGHTLY OR UNSANITARY MATTER ON PROPERTY- ILLEGAL WATER HEATER CONNECTION TO PORTABLE PROPANE TANK	
20-00135	1406838	310 N CENTRAL AVE	12/4/2020	WORK WITHOUT PERMIT - CLEARING LOT AND LAYING BASE . MOVE ELECTRICAL	
20-00136	1211573	15 LONESTAR ST	12/4/2020	WORK WITHOUT PERMIT- LAYING BASE IN RIGHT OF WAY FOR PARKING AREA	
20-00138	1129320	51 WAFFORD ST	12/28/2020	ABATEMENT NOTICE POSTED 12/28/2020	
20-00139	1499798	51 HIGHLAND ST	12/23/2020	OUTDOOR STORAGE OF JUNK, RV IN NOT BEHIND BUILDING FRONTAGE, RV OCCUPIED IN RESIDENTIAL ZONING	
20-00141	1129303	497 S CENTRAL AVE	12/28/2020	UNSAFE STRUCTURE - CARPORT ROOF COLLAPSING, FIBERGLASS SHED WALLS FAILING	
20-00142	1500257	793 N KENTUCKY AVE	12/29/2020	NEW SHED ON PROPERTY WITHOUT PERMIT	
20-00143	1756995	399 ROSE ST	12/29/2020	NEW SHED ON PROPERTY WITHOUT PERMIT	
21-00002	1705380	63 CAMELLIA ST	1/4/2021	PORCH ADDITION WITH NO PERMIT	
21-00003	1122619	341 ROSE ST	1/5/2021	COMPLAINT REFERENCE CARS IN YARD	
21-00004	1705380	17 HIBISCUS ST	1/21/2021	ACCUMULATION OF JUNK TANK - NO WATER SERVICE TO OCCUPIED DWELLING	
21-00005	1770220	219 GRANDVIEW AVE	1/29/2021	COMPLAINT REFERENCE ROOSTERS AND CHICKENS - NO PERMIT FOUND.	
21-00006	1201713	390 EAST LAKE ST	2/5/2021	FENCE IN STATE OF DISREPAIR.	
21-00007	3242858	34 CAYMAN CIR	2/5/2021	YARD SALES OCCURING WITHOUT PERMITS. EXCEEDS 2 PER YEAR	

LIEN SATISFIED ON 01/21/2021
 COMPLETE - FINE DUE
 CURRENTLY ACCRUING DAILY FINES
 COMPLETED - CASE CLOSED
 CERTIFICATION OF FINE PENDING
 WENT TO SPECIAL MASTER 2/3/2021
 ABATEMENT - LIEN RECORDED
 PARTIAL COMPLIANCE -MONITOR FOR FOLLOW THROUGH
 UNFOUNDED

Umatilla Fire Department Activity Report



Figure 1 Fire Department Logo

CITY OF UMATILLA FIRE DEPARTMENT

“Nature’s Hometown”

Report for: 1/15/2021 to 2/09/2021

Medical Calls:	52
Total Calls:	72

Fire/Accident/Other		County	
Fire	2	Automatic Aid Given	9
MVA	1	Automatic Aid Received	1
Public Assistance	3	Overlapping Calls	4
Automatic Fire Alarm	0		
Mutual Aid	0		
Fly Outs	0		
Technical Rescue	0		
Average Response Time	6 minutes		

Meetings and Activities

A Note from the Fire Chief:
 The department is in good shape responding to the current crisis. We continue to monitor our firefighters every day for temperature and signs and symptoms, firefighters are also required to wear mask while in public at all times. The station remodel is complete. The Firefighters would like to thank the Council for their support of the project.

Shane Lanoue
 Fire Chief