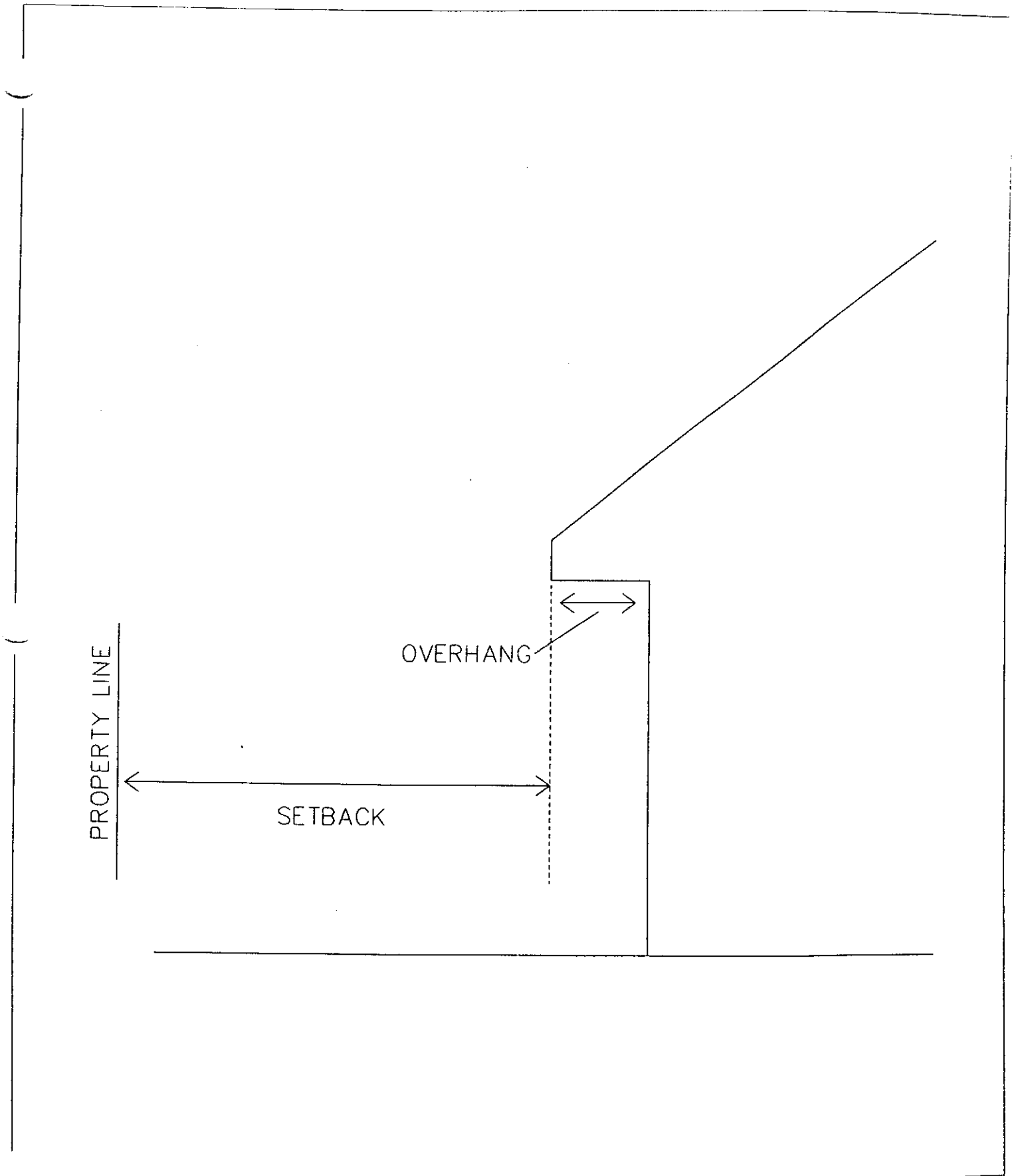
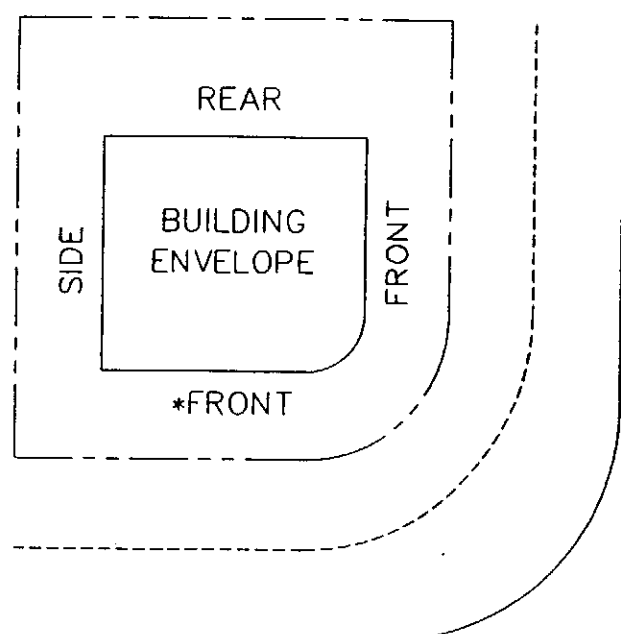
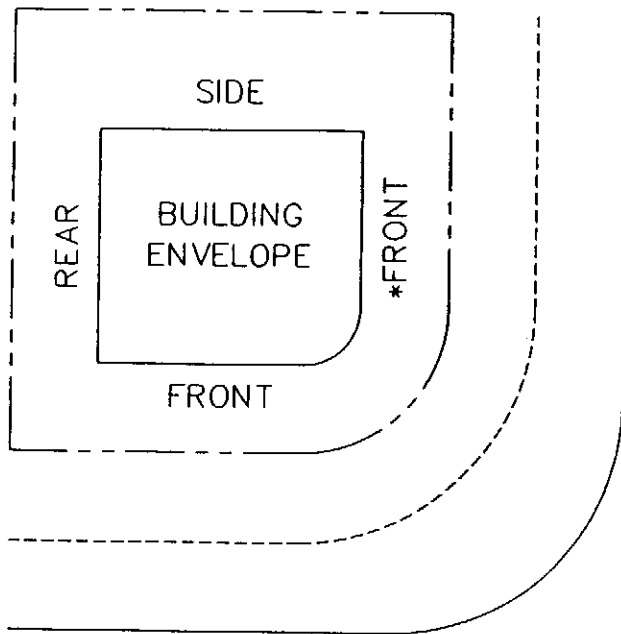


**APPENDIX I**  
**EXHIBITS**



**DETERMINATION OF SETBACK MEASUREMENTS**



\*FRONT OF LOT IS DETERMINED BY SIDE OF LOT ON WHICH ADDRESS IS GIVEN. ON CORNER LOTS, FRONT SETBACKS ARE REQUIRED ON SIDES FACING ROAD.

## **CORNER LOT SETBACKS**

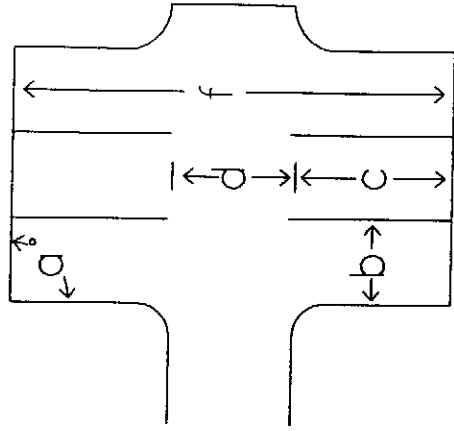
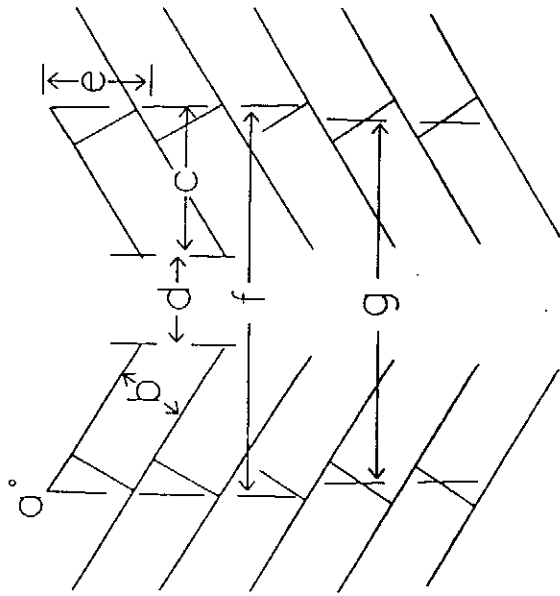
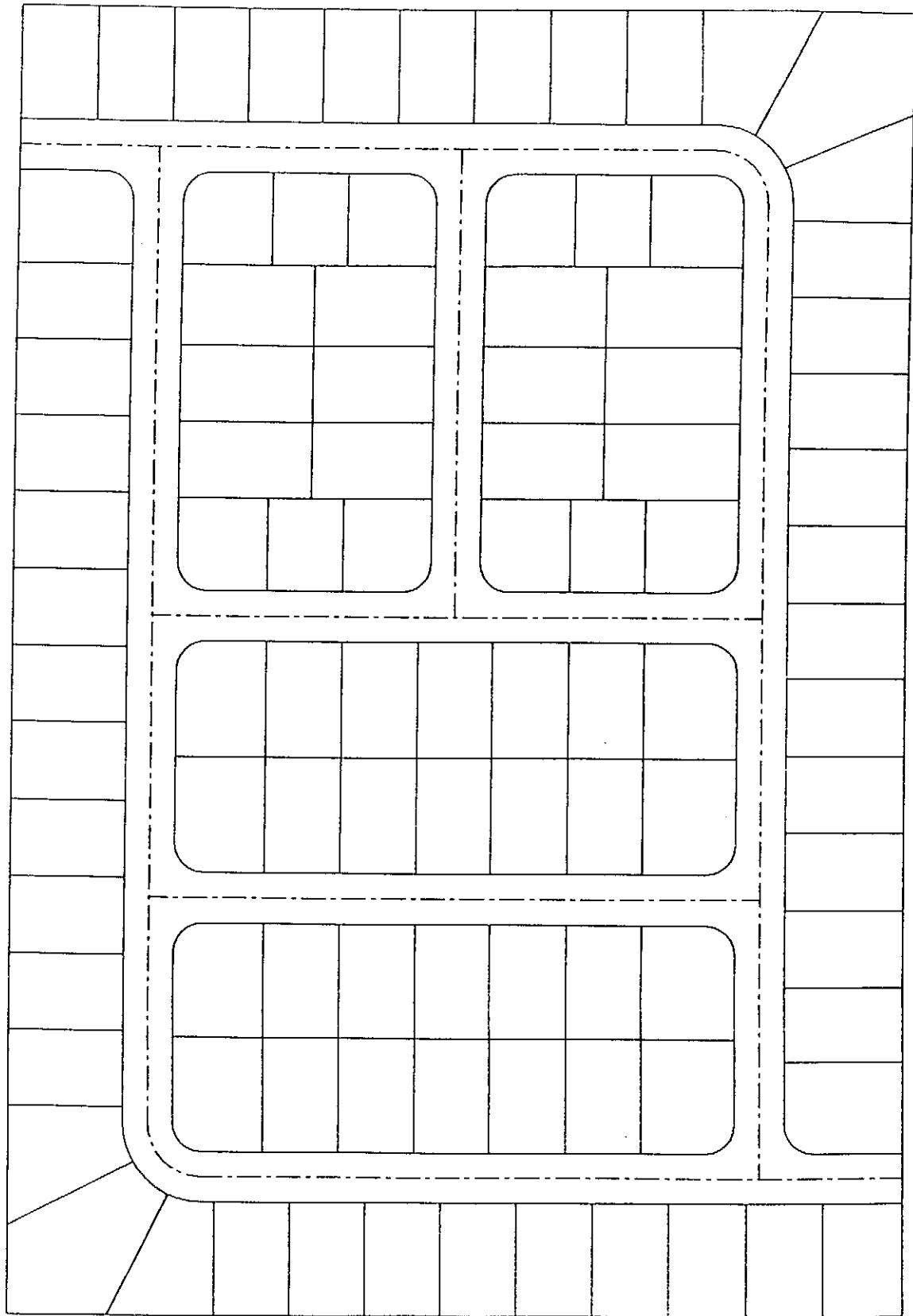
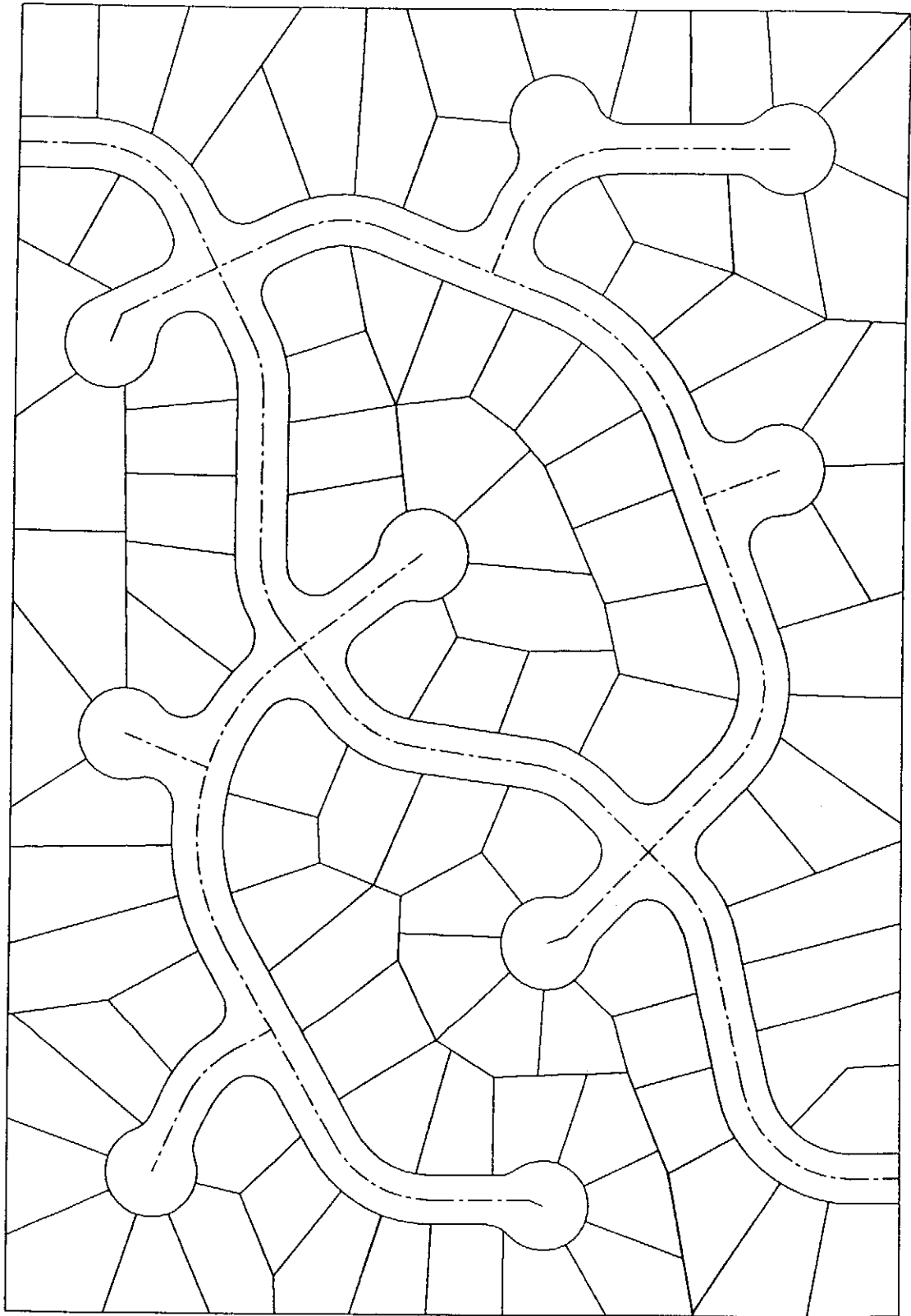


TABLE FOR PARKING LOT DIMENSIONS

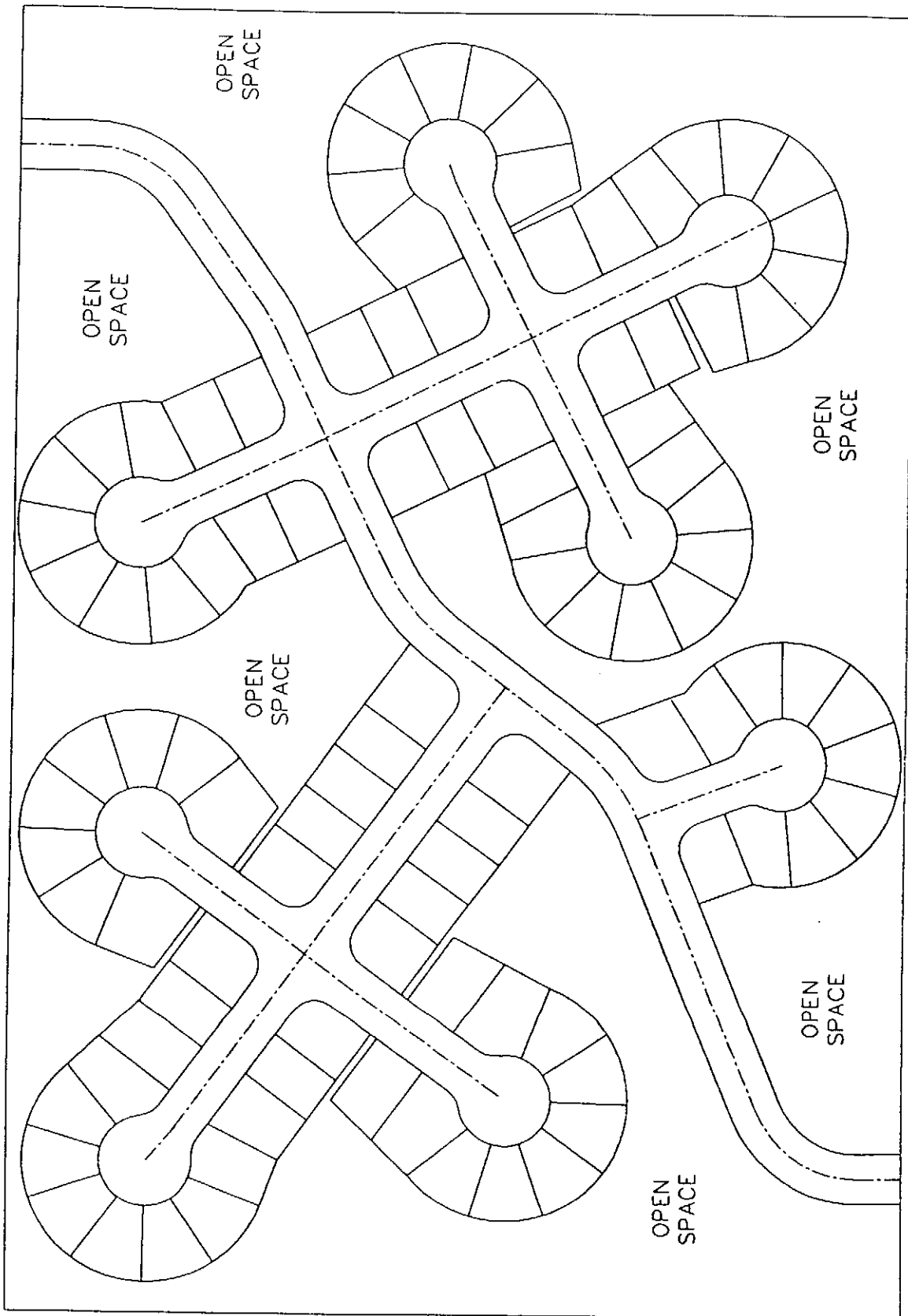
a	b	c	d	e	f	g
20	10'	16.2'	11.0'	29.2'	43.4'	43.0'
30	10'	18.7'	11.0'	20.0'	48.4'	39.7'
40	10'	20.5'	12.0'	15.6'	53.0'	45.3'
45	10'	21.2'	13.0'	14.1'	55.4'	48.3'
50	10'	21.8'	12.0'	13.1'	55.6'	49.2'
60	10'	22.4'	18.0'	11.5'	62.8'	57.8'
70	10'	22.1'	18.0'	10.6'	62.2'	58.8'
80	10'	21.5'	24.0'	10.2'	67.0'	65.3'
90	10'	20.0'	24.0'	10.0'	64.0'	--



**GRID LOT LAYOUT**



**CURVILINEAR LOT LAYOUT**



OPEN SPACE

OPEN SPACE

OPEN SPACE

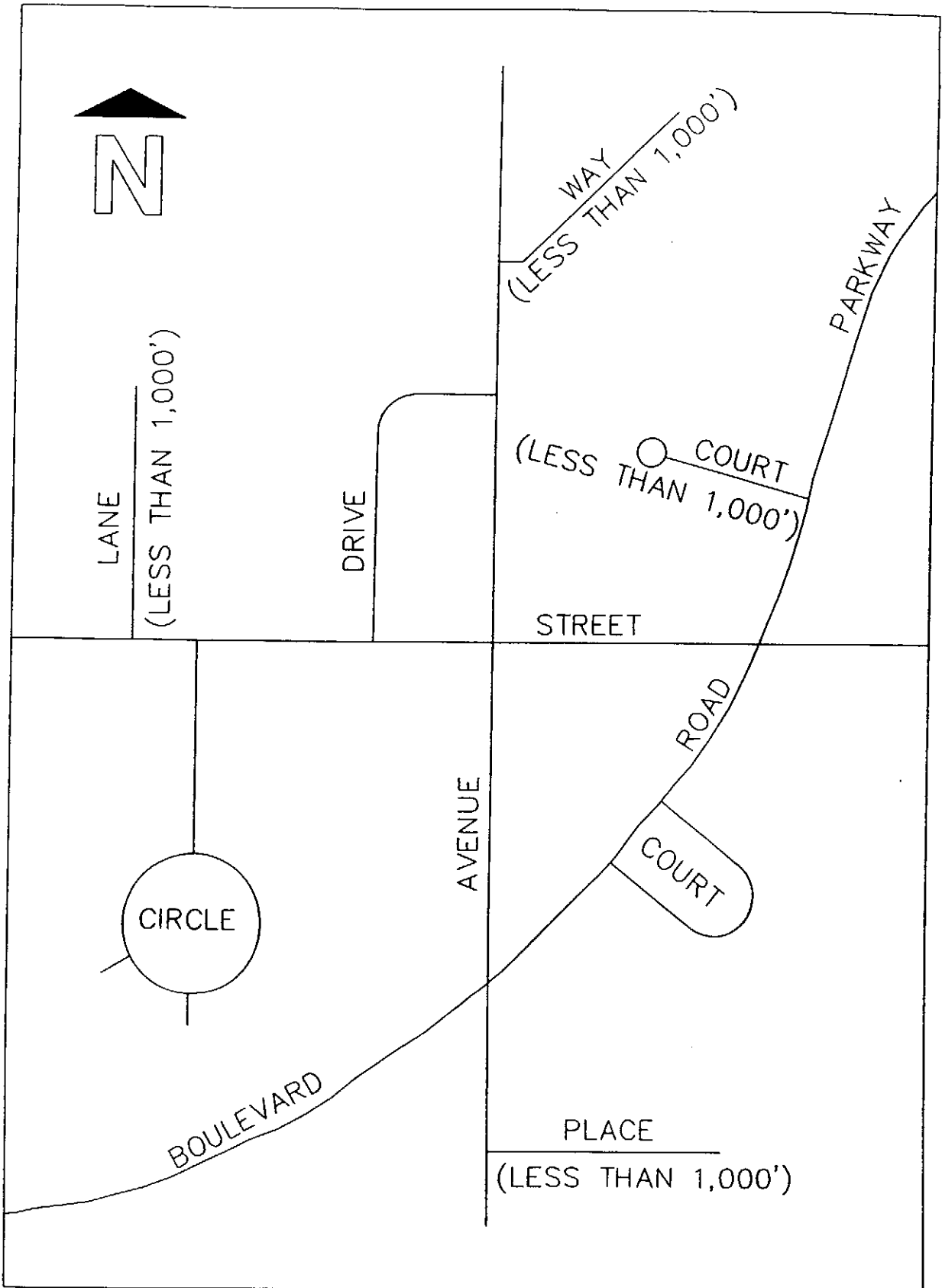
OPEN SPACE

OPEN SPACE

OPEN SPACE

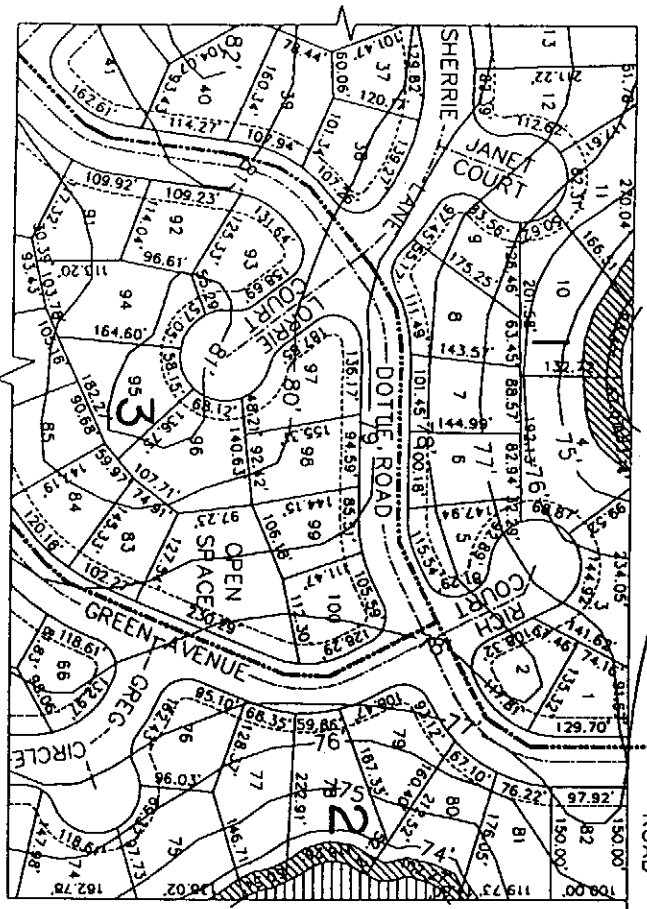
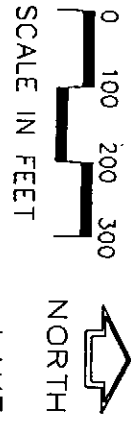
CENTRAL WATER AND SEWER REQUIRED

# CLUSTER DESIGN



## STREET NAMING PROCEDURE





LEGAL DESCRIPTION  
 TYPICAL LOT SETBACK DETAIL  
 LOCATION MAP  
 POST DEVELOPMENT LAND USE  
 100 YEAR FLOOD  
 WETLANDS  
 BUFFERS  
 OPEN SPACE  
 RECREATION  
 ROAD LENGTH  
 STORMWATER CRITERIA

TOTAL ACREAGE  
 NO. OF UNITS  
 GROSS DENSITY  
 NET DENSITY  
 MINIMUM LOT SIZE  
 INTERNAL & EXTRANCE ROAD R.O.W.  
 FIRE CODE  
 TREE & LANDSCAPE ORDINANCE  
 ZONING OF PROPERTY  
 ADJACENT ZONING

- WETLANDS
- BUFFERS
- SETBACK FROM R.O.W.
- PHASE LINE
- 100 YEAR FLOOD LINE

OWNER:  
 XYZ CORPORATION  
 123 1st. AVENUE  
 ANYTOWN, FLORIDA  
 (904) 555-1234

DEVELOPER:  
 DOE & ASSOCIATES  
 654 2nd. AVENUE  
 ANYTOWN, FLORIDA  
 (904) 555-4567

ENGINEER:  
 SURVEYS, INC.  
 796 12th. STREET  
 ANYTOWN, FLORIDA  
 (904) 555-9876

LAWYER:  
 MOORE, MONY & ASSO.  
 241 3rd. AVENUE  
 ANYTOWN, FLORIDA  
 (904) 555-0789

DEVELOPMENT SCHEDULE  
 PHASES  
 DRAINAGE EASEMENT  
 PHASE ACREAGE

## PRELIMINARY MASTER PLAN

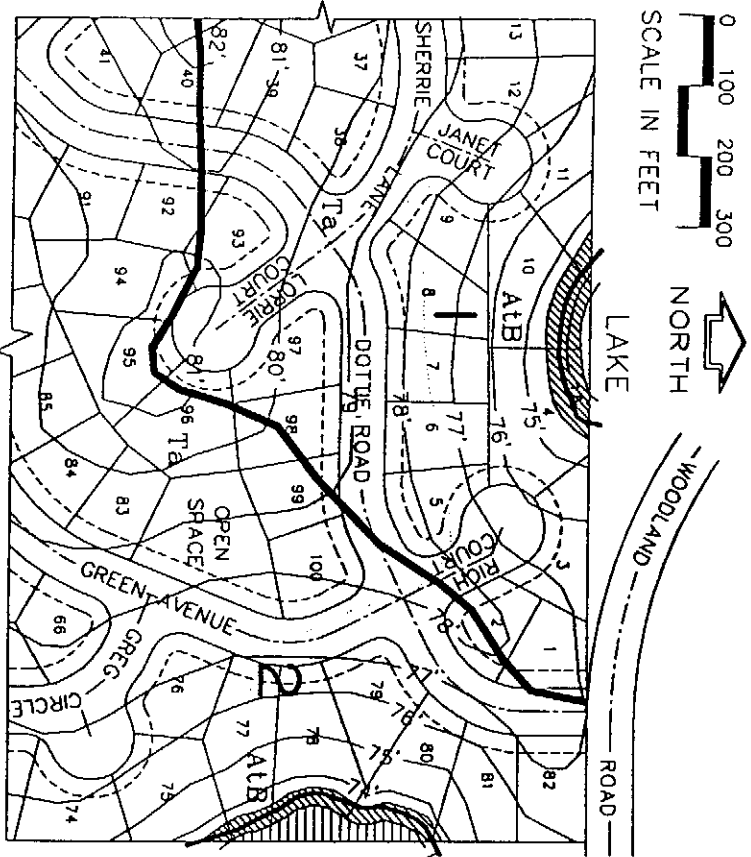
# NAME

LAND PLANNER:  
 ENVIROTECH DESIGNS  
 564 3rd. AVENUE  
 ANYTOWN, FLORIDA  
 (904) 555-7564

SCALE:  
 DATE: 8/01/91  
 REV: 8/10/91  
 SHEET 1 OF 2

## PRELIMINARY PLAN EXHIBIT "A"

DRAINAGE BASINS  
 TYPICAL SIDE LOT LINE SWALE  
 TYPICAL RETENTION POND SECTION  
 DRAINAGE CALCULATIONS - DESIGN CRITERIA  
 10 YEAR - 2 HOUR RAINFALL TABLE  
 PRE-DEVELOPMENT CONDITIONS TABLE  
 POST-DEVELOPMENT CONDITIONS TABLE  
 ON-SITE STORMWATER RETENTION SUMMARY  
 SOIL BORING TABLE  
 PERMEABILITY TESTS TABLE



TOPOGRAPHY  
 WATER RETENTION AREAS

- WETLANDS
- BUFFERS
- SETBACK FROM R.O.W.
- DRAINAGE BASIN LINE
- SOIL LINE
- 100 YEAR FLOOD

**SOIL LEGEND**

SYMBOL	DESCRIPTION	ACREAGE
A1B	Astoria sand, dark surface, 0 to 5% slopes	12.7±
T <sub>0</sub>	Towhee sand	38.5±
TOTAL		51.2± ACRES

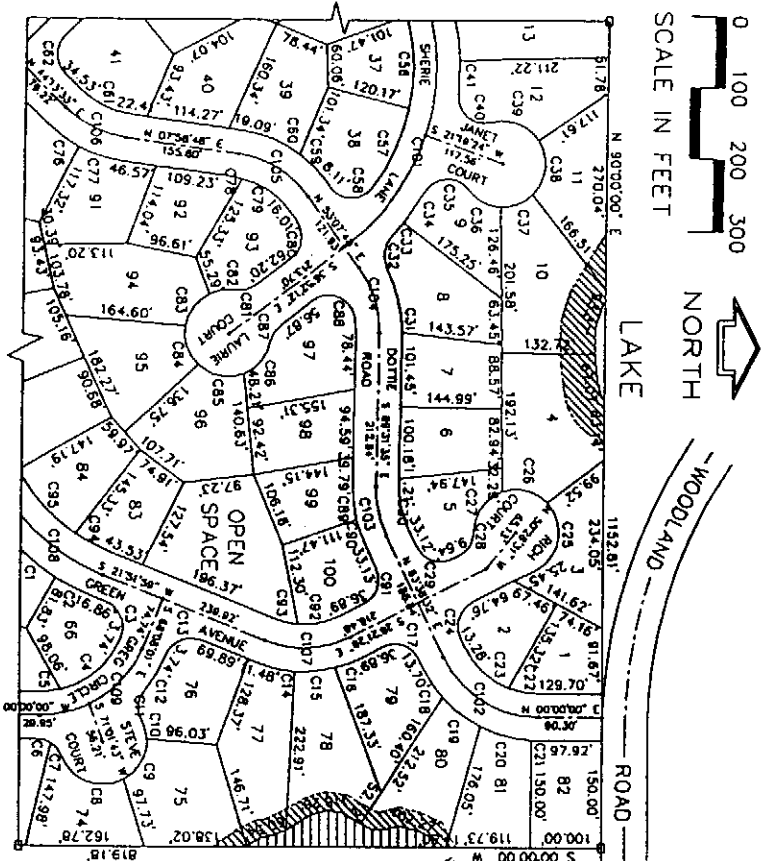
**PRELIMINARY MASTER PLAN & DRAINAGE CALCULATIONS**

LAND PLANNER:  
 ENVIROTECH DESIGNS  
 564 3rd AVENUE  
 ANYTOWN, FLORIDA  
 (904) 555-7564

**NAME**

SCALE:  
 DATE: 8/01/91  
 REV: 8/10/91  
 SHEET 2 OF 2

**PRELIMINARY PLAN EXHIBIT "B"**



EASEMENTS ARE TO DETERMINED AS PER CONSTRUCTION PLANS

- PERMANENT REFERENCE MONUMENT (P.R.M.)
- PERMANENT CONTROL POINT (P.C.P.)
- ▨ WETLANDS
- ▨ BUFFERS
- RESTRICTIVE EASEMENTS
- 100 YEAR FLOOD LINE

LOT	AREA (SQUARE FEET)
1	1218
2	1476
3	1476
4	2595
5	1721
6	1721
7	1721
8	1721
9	1721
10	1424
11	1692
12	1828
13	1828
14	1172
15	1520
16	1547
17	1520
18	1520
19	1520
20	1520
21	1520
22	1520
23	1520
24	1520
25	1520
26	1520
27	1520
28	1520
29	1520
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31	1520
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33	1520
34	1520
35	1520
36	1520
37	1520
38	1520
39	1520
40	1520
41	1520
42	1520
43	1520
44	1520
45	1520
46	1520
47	1520
48	1520
49	1520
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72	1520
73	1520
74	1520
75	1520
76	1520
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91	1520
92	1520
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94	1520
95	1520
96	1520
97	1520
98	1520
99	1520
100	1520

# FINAL MASTER PLAN

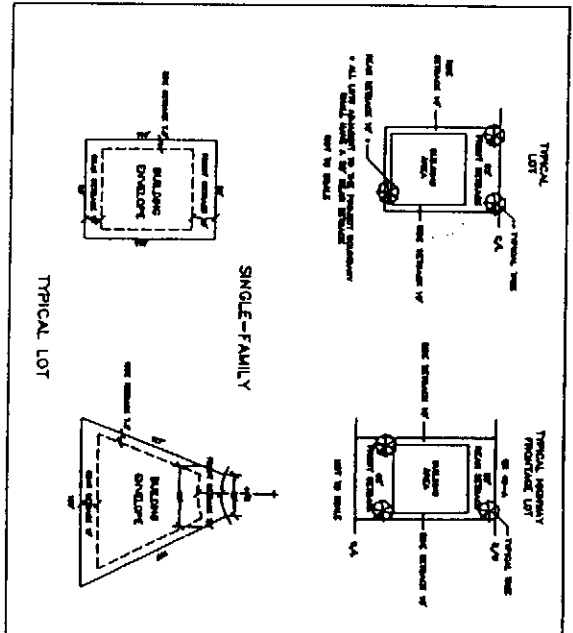
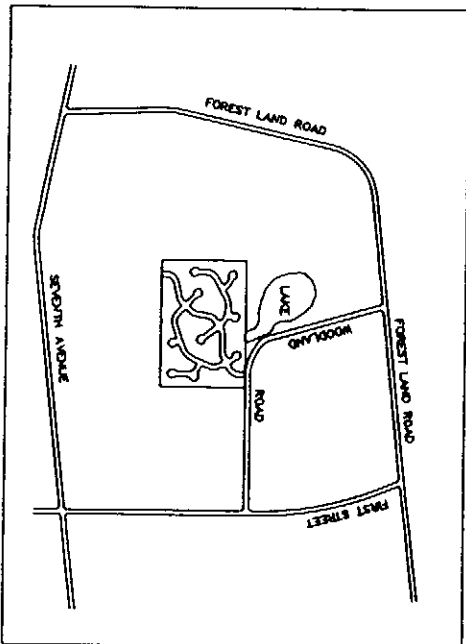
# NAME

LAND PLANNER:  
 ENVIROTECH DESIGNS  
 564 3rd AVENUE  
 ANYTOWN, FLORIDA  
 (904) 555-7564

SCALE:  
 DATE: 8/01/91  
 REV: 8/10/91  
 SHEET 3 of 3

# FINAL PLAT EXHIBIT "A"

Case ID #	Date	Radius	Ave Length	Tempit	Chord	Beating
C1	10/30/10	333.00	63.88	31.34	62.88	52.88
C2	10/30/10	333.00	56.88	38.00	53.74	53.74
C3	10/30/10	333.00	110.28	38.00	108.24	108.24
C4	11/7/10	333.00	117.00	38.00	115.00	115.00
C5	11/7/10	333.00	21.00	10.30	20.78	20.78
C6	31/4/24	38.00	23.05	12.88	22.58	22.58
C7	37/4/24	38.00	10.05	6.51	6.04	6.04
C8	6/21/25	60.00	102.05	38.00	98.81	98.81
C9	6/21/25	60.00	42.22	21.72	42.18	42.18
C10	23/10/10	60.00	54.18	27.50	54.00	54.00
C11	6/28/18	183.00	54.88	38.00	52.74	52.74
C12	1/20/10	183.00	54.88	38.00	52.74	52.74
C13	1/20/10	183.00	38.00	18.00	37.78	37.78
C14	1/20/10	183.00	38.00	18.00	37.78	37.78
C15	11/34/14	183.00	38.00	18.00	37.78	37.78
C16	1/20/10	183.00	38.00	18.00	37.78	37.78
C17	1/20/10	183.00	38.00	18.00	37.78	37.78
C18	2/21/42	183.00	38.00	18.00	37.78	37.78
C19	2/21/42	183.00	38.00	18.00	37.78	37.78
C20	2/21/42	183.00	38.00	18.00	37.78	37.78
C21	2/21/42	183.00	38.00	18.00	37.78	37.78
C22	2/21/42	183.00	38.00	18.00	37.78	37.78
C23	2/21/42	183.00	38.00	18.00	37.78	37.78
C24	2/21/42	183.00	38.00	18.00	37.78	37.78
C25	2/21/42	183.00	38.00	18.00	37.78	37.78
C26	2/21/42	183.00	38.00	18.00	37.78	37.78
C27	2/21/42	183.00	38.00	18.00	37.78	37.78
C28	2/21/42	183.00	38.00	18.00	37.78	37.78
C29	2/21/42	183.00	38.00	18.00	37.78	37.78
C30	2/21/42	183.00	38.00	18.00	37.78	37.78
C31	2/21/42	183.00	38.00	18.00	37.78	37.78
C32	2/21/42	183.00	38.00	18.00	37.78	37.78
C33	2/21/42	183.00	38.00	18.00	37.78	37.78
C34	2/21/42	183.00	38.00	18.00	37.78	37.78
C35	2/21/42	183.00	38.00	18.00	37.78	37.78
C36	2/21/42	183.00	38.00	18.00	37.78	37.78
C37	2/21/42	183.00	38.00	18.00	37.78	37.78
C38	2/21/42	183.00	38.00	18.00	37.78	37.78
C39	2/21/42	183.00	38.00	18.00	37.78	37.78
C40	2/21/42	183.00	38.00	18.00	37.78	37.78
C41	2/21/42	183.00	38.00	18.00	37.78	37.78
C42	2/21/42	183.00	38.00	18.00	37.78	37.78
C43	2/21/42	183.00	38.00	18.00	37.78	37.78
C44	2/21/42	183.00	38.00	18.00	37.78	37.78
C45	2/21/42	183.00	38.00	18.00	37.78	37.78
C46	2/21/42	183.00	38.00	18.00	37.78	37.78
C47	2/21/42	183.00	38.00	18.00	37.78	37.78
C48	2/21/42	183.00	38.00	18.00	37.78	37.78
C49	2/21/42	183.00	38.00	18.00	37.78	37.78
C50	2/21/42	183.00	38.00	18.00	37.78	37.78
C51	2/21/42	183.00	38.00	18.00	37.78	37.78
C52	2/21/42	183.00	38.00	18.00	37.78	37.78
C53	2/21/42	183.00	38.00	18.00	37.78	37.78
C54	2/21/42	183.00	38.00	18.00	37.78	37.78
C55	2/21/42	183.00	38.00	18.00	37.78	37.78
C56	2/21/42	183.00	38.00	18.00	37.78	37.78
C57	2/21/42	183.00	38.00	18.00	37.78	37.78
C58	2/21/42	183.00	38.00	18.00	37.78	37.78
C59	2/21/42	183.00	38.00	18.00	37.78	37.78
C60	2/21/42	183.00	38.00	18.00	37.78	37.78
C61	2/21/42	183.00	38.00	18.00	37.78	37.78
C62	2/21/42	183.00	38.00	18.00	37.78	37.78
C63	2/21/42	183.00	38.00	18.00	37.78	37.78
C64	2/21/42	183.00	38.00	18.00	37.78	37.78
C65	2/21/42	183.00	38.00	18.00	37.78	37.78
C66	2/21/42	183.00	38.00	18.00	37.78	37.78
C67	2/21/42	183.00	38.00	18.00	37.78	37.78
C68	2/21/42	183.00	38.00	18.00	37.78	37.78
C69	2/21/42	183.00	38.00	18.00	37.78	37.78
C70	2/21/42	183.00	38.00	18.00	37.78	37.78
C71	2/21/42	183.00	38.00	18.00	37.78	37.78
C72	2/21/42	183.00	38.00	18.00	37.78	37.78
C73	2/21/42	183.00	38.00	18.00	37.78	37.78
C74	2/21/42	183.00	38.00	18.00	37.78	37.78
C75	2/21/42	183.00	38.00	18.00	37.78	37.78
C76	2/21/42	183.00	38.00	18.00	37.78	37.78
C77	2/21/42	183.00	38.00	18.00	37.78	37.78
C78	2/21/42	183.00	38.00	18.00	37.78	37.78
C79	2/21/42	183.00	38.00	18.00	37.78	37.78
C80	2/21/42	183.00	38.00	18.00	37.78	37.78
C81	2/21/42	183.00	38.00	18.00	37.78	37.78
C82	2/21/42	183.00	38.00	18.00	37.78	37.78
C83	2/21/42	183.00	38.00	18.00	37.78	37.78
C84	2/21/42	183.00	38.00	18.00	37.78	37.78
C85	2/21/42	183.00	38.00	18.00	37.78	37.78
C86	2/21/42	183.00	38.00	18.00	37.78	37.78
C87	2/21/42	183.00	38.00	18.00	37.78	37.78
C88	2/21/42	183.00	38.00	18.00	37.78	37.78
C89	2/21/42	183.00	38.00	18.00	37.78	37.78
C90	2/21/42	183.00	38.00	18.00	37.78	37.78
C91	2/21/42	183.00	38.00	18.00	37.78	37.78
C92	2/21/42	183.00	38.00	18.00	37.78	37.78
C93	2/21/42	183.00	38.00	18.00	37.78	37.78
C94	2/21/42	183.00	38.00	18.00	37.78	37.78
C95	2/21/42	183.00	38.00	18.00	37.78	37.78
C96	2/21/42	183.00	38.00	18.00	37.78	37.78
C97	2/21/42	183.00	38.00	18.00	37.78	37.78
C98	2/21/42	183.00	38.00	18.00	37.78	37.78
C99	2/21/42	183.00	38.00	18.00	37.78	37.78
C100	2/21/42	183.00	38.00	18.00	37.78	37.78



LAND PLANNER:  
 ENVIROTECH DESIGNS  
 564 3rd. AVENUE  
 ANYTOWN, FLORIDA  
 (904) 555-7564

NAME

SCALE:  
 DATE: 8/01/91  
 REV: 8/10/91  
 SHEET 2 OF 3

FINAL PLAT EXHIBIT "B"

LEGAL DESCRIPTION

NOTES

PLAT BOOK  
AND PAGE

DEDICATION

BEFORE ALL PARTS OF THESE PROVISIONS, THAT THE UNDERSIGNED, LAND PLANNER, HAS THE HONOR OF BEING APPOINTED TO THE POSITION OF LAND PLANNER IN THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, AND HAS ACCEPTED THE POSITION AND AGREES TO BE BOUND BY THE TERMS AND CONDITIONS OF THESE PROVISIONS. THE UNDERSIGNED HAS BEEN APPOINTED TO THE POSITION OF LAND PLANNER BY THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, AND HAS ACCEPTED THE POSITION AND AGREES TO BE BOUND BY THE TERMS AND CONDITIONS OF THESE PROVISIONS.

NAME OF COUNTY: \_\_\_\_\_ COUNTY OF \_\_\_\_\_  
NAME OF CITY: \_\_\_\_\_ CITY OF \_\_\_\_\_  
NAME OF TOWN: \_\_\_\_\_ TOWN OF \_\_\_\_\_  
NAME OF PLAT: \_\_\_\_\_ PLAT OF \_\_\_\_\_  
NAME OF PLAT BOOK: \_\_\_\_\_ PLAT BOOK OF \_\_\_\_\_  
NAME OF PAGE: \_\_\_\_\_ PAGE OF \_\_\_\_\_

**CERTIFICATE OF SUPERVISOR**  
I, \_\_\_\_\_, SUPERVISOR OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PLAT IS IN ACCORDANCE WITH THE PLANNING AND ZONING ORDINANCES OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, AND THAT THE SAME HAS BEEN APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_\_\_.

**CERTIFICATE OF APPROVAL OF MUNICIPALITY**  
I, \_\_\_\_\_, CLERK OF THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PLAT IS IN ACCORDANCE WITH THE PLANNING AND ZONING ORDINANCES OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, AND THAT THE SAME HAS BEEN APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_\_\_.

**CERTIFICATE OF SUPERVISOR**  
I, \_\_\_\_\_, SUPERVISOR OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PLAT IS IN ACCORDANCE WITH THE PLANNING AND ZONING ORDINANCES OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, AND THAT THE SAME HAS BEEN APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_\_\_.

**CERTIFICATE OF APPROVAL OF MUNICIPALITY**  
I, \_\_\_\_\_, CLERK OF THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PLAT IS IN ACCORDANCE WITH THE PLANNING AND ZONING ORDINANCES OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, AND THAT THE SAME HAS BEEN APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_\_\_.

**CERTIFICATE OF SUPERVISOR**  
I, \_\_\_\_\_, SUPERVISOR OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PLAT IS IN ACCORDANCE WITH THE PLANNING AND ZONING ORDINANCES OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, AND THAT THE SAME HAS BEEN APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_\_\_.

**CERTIFICATE OF APPROVAL OF MUNICIPALITY**  
I, \_\_\_\_\_, CLERK OF THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PLAT IS IN ACCORDANCE WITH THE PLANNING AND ZONING ORDINANCES OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, AND THAT THE SAME HAS BEEN APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_\_\_.

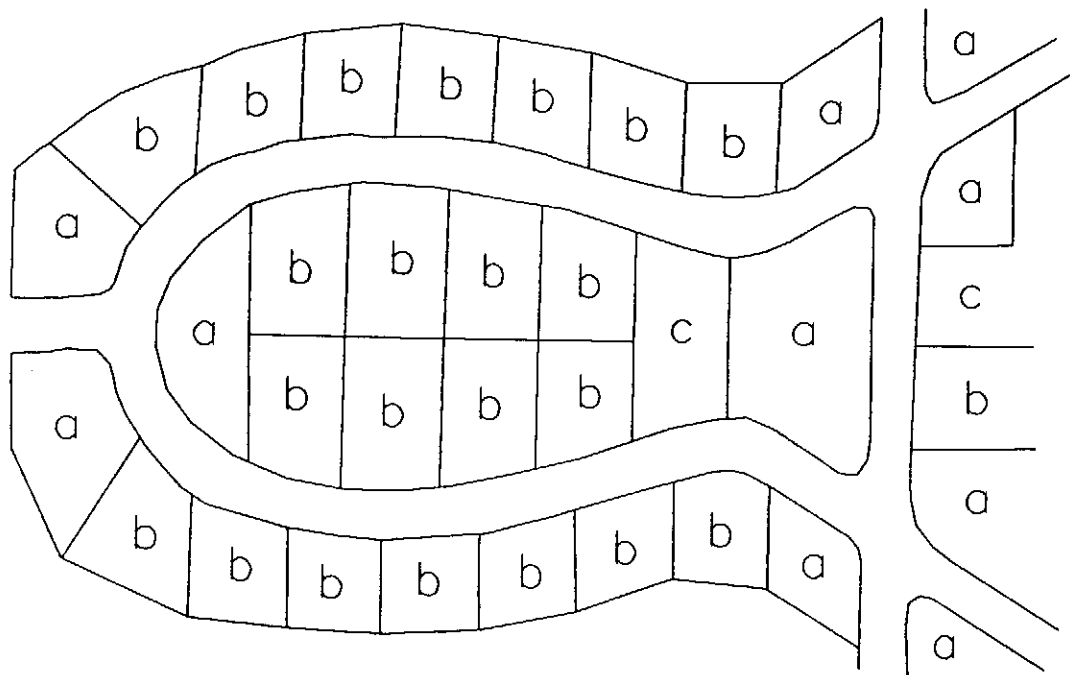
**CERTIFICATE OF CLERK**  
I, \_\_\_\_\_, CLERK OF THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PLAT IS IN ACCORDANCE WITH THE PLANNING AND ZONING ORDINANCES OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, AND THAT THE SAME HAS BEEN APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF \_\_\_\_\_, STATE OF \_\_\_\_\_, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_\_\_.

SCALE:  
DATE: 8/01/91  
REV: 8/10/91  
SHEET 1 OF 3

NAME

LAND PLANNER:  
ENVROTECH DESIGNS  
564 3rd. AVENUE  
ANYTOWN, FLORIDA  
(904) 555-7564

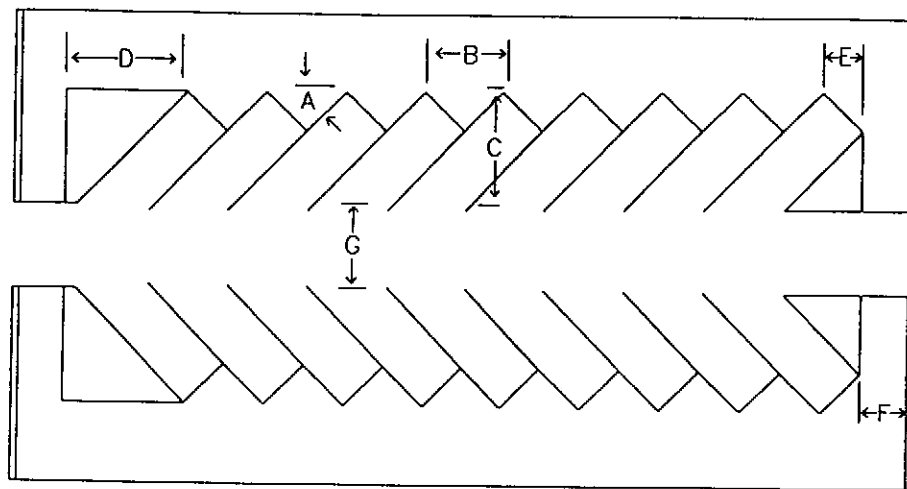
FINAL PLAT EXHIBIT "C"



- a - CORNER LOT
- b - INTERIOR LOT
- c - THROUGH LOT

**LOT CLASSIFICATION EXHIBIT**

ALL DIMENSIONS ARE BASED ON PARKING STALL SIZE OF 200 sq. ft.  
(10' X 20')



TABLE

A PARKING ANGLE	B CURB LENGTH	C STALL DEPTH	D STARTING LOSS	E LAST CAR REQUIREMENT	F LANDSCAPE STRIP*	G AISLE WIDTH MINIMUM	
30°	20'	18.66'	32.32'	5.00'	5'	12'	24'
45°	14.14'	21.21'	21.21'	7.07'	5'	12'	24'
60°	11.55'	22.32'	12.88'	8.66'	5'	17'	24'
90°	10'	20'	5' MIN.	10'	5'	24'	24'

\*MINIMUM AS MEASURED FROM R/W AND/OR PROPERTY LINE;  
A WIDER STRIP MAY BE REQUIRED BY THIS CODE. SEE  
LANDSCAPE CHAPTER FOR FURTHER BUFFERS.

ONE WAY	TWO WAY
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## PARKING STANDARDS